



ARCHITECTURAL REVIEW COMMISSION MEETING AGENDA

Notice is hereby given that the Cottonwood Heights Architectural Review Commission will hold a meeting (City Council Work Room) beginning at **6:00 p.m. on Wednesday, December 19, 2018**, located at 2277 East Bengal Boulevard, Cottonwood Heights, Utah.

6:00 p.m. DISCUSSION ITEMS

1.0 Review Action Items

(The Commission will review and discuss agenda items and may also discuss other pending and/or anticipated filings and projects.)

2.0 ACTION ITEMS

2.1 (Project #SPL-18-009) Action on a request from Dugala Enterprises LLC for a Certificate of Design Compliance for a restaurant and distillery at 7321 South Canyon Centre Parkway.

2.5 (Project #CUP-18-012) Action on a request from Canyon Centre Capital, LLC for a Certificate of Design Compliance for a hotel located at 7450 South Wasatch Boulevard.

2.7 Approval of Minutes for December 19, 2018

(The Architectural Review Commission will move to approve the minutes of December 19, 2018 after the following process is met. The recorder will prepare the minutes and email them to each member of the Commission. The members will have five days to review the minutes and provide any changes to the recorder. If, after five days there are no changes, the minutes will stand approved. If there are changes, the process will be followed until the changes are made and the Commission is in agreement, at which time the minutes shall be deemed approved.)

3.0 ADJOURNMENT

On Friday, December 14, 2018 by 6:00 pm a copy of the foregoing notice was posted in conspicuous view in the front foyer of the Cottonwood Heights City Offices, Cottonwood Heights, Utah. A copy of this notice was emailed to the Salt Lake Tribune and Deseret News, newspapers of general circulation in the City by the Office of the City Recorder. The Agenda was also posted on the City's website at and the State Public Meeting Notice website at <http://pmn.utah.gov>

DATED THIS 14th day of December 2018

Paula Melgar, City Recorder

Architectural Review Commissioners may participate in the meeting via telephonic communication. If a Commissioner does participate via telephonic communication, the Commissioner will be on speakerphone. The speakerphone will be amplified so that the other Commissioners and all other persons present in the room will be able to hear all discussions. In compliance with the Americans with Disabilities Act, individuals needing special accommodations or assistance during this meeting shall notify the City Recorder at (801)944-7020 at least 24 hours prior to the meeting. TDD number is (801)270-2425 or call Relay Utah at #711. If you would like to submit written comments on any agenda item they should be received by the Planning Division no later than Tuesday at noon. Comments can be emailed to mtaylor@ch.utah.gov.



MEMORANDUM

To: Architectural Review Commission (ARC)
From: Andy Hulka, Associate Planner
Date: December 19, 2018
Subject: SPL-18-009, Dugala Distillery, 7321 S. Canyon Centre Pkwy

REQUEST

An application has been made by Dugala Enterprises LLC for approval of a Certificate of Design Compliance for a revised design of the new restaurant/distillery at 7321 S. Canyon Centre Pkwy. The applicant received a Certificate of Design Compliance from the ARC on November 20, 2014, but the design has been modified for the most recent building permit application. The applicant is requesting approval of a revised design that includes a retractable glass roof and other changes to the exterior design.



ARCHITECTURAL REVIEW COMMISSION AUTHORITY

The ARC is required to review all exterior modifications for compliance with applicable design guidelines and compatibility with surrounding properties, as required by section 19.49.060 of the zoning ordinance:

19.49.060 Gateway Overlay District.

C. Certificate of design compliance. A certificate of design compliance issued by the ARC shall be required before proceeding with any new development or changes to existing development in a Gateway Overlay District. No alteration of the existing condition of land, structures, signs, landscaping or lighting, including, without limitation, demolition of any structure, application of new exterior siding material, creation of a new window or dormer, creation of a driveway or parking facility, construction of a deck, fence or garage, or enclosure of a porch shall be permitted within the Gateway Overlay District except as provided in this chapter.

D. General review criteria. The ARC must determine that the following general review criteria are met before issuing a certificate of design compliance for a project:

- 1. The proposed work must comply with the applicable design guidelines for that overlay district;*
- 2. The integrity of an individual historic structure is preserved, if applicable;*
- 3. The design of new buildings or additions must be compatible with surrounding gateway properties; and,*
- 4. The overall character of the Gateway Overlay District is protected.*

ORIGINAL APPROVAL

This application received its first approval from the ARC on November 20, 2014 as part of the Canyon Centre Phase II approvals, which also included the multi-family and single-family sections of the development. The plans submitted with the original approval included preliminary designs for the restaurant which included a rooftop dining area:



The original Certificate of Design Compliance included the following conditions of approval:

1. Integrate the corrugated metal into the holistic nature of the building's architecture;
2. Address the materials on the north wall of the building.

PROPOSAL

The applicant is proposing to add a retractable glass roof over the northwest portion of the building. Some changes have also been proposed to the windows and materials as part of the revised design.

North Elevation Comparison

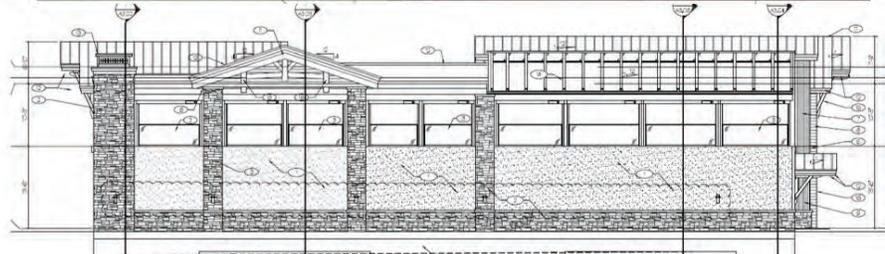
Original

- Outdoor dining
- Glass around front entry
- Primarily stone veneer on wall



Proposed

- Retractable glass roof
- Glass removed from entryway
- Stone veneer and stucco on wall



East Elevation Comparison

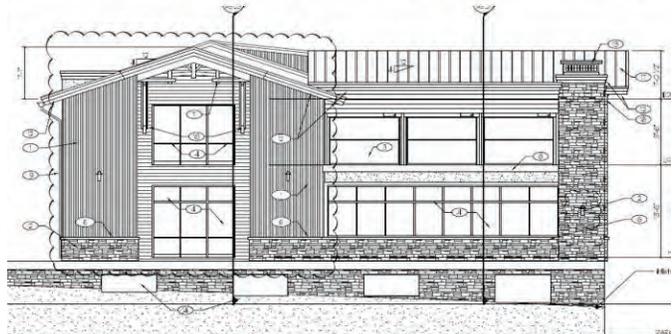
Original

- Outdoor dining
- Stone veneer around windows



Proposed

- Indoor dining with new window system
- Wood siding around windows



West Elevation Comparison

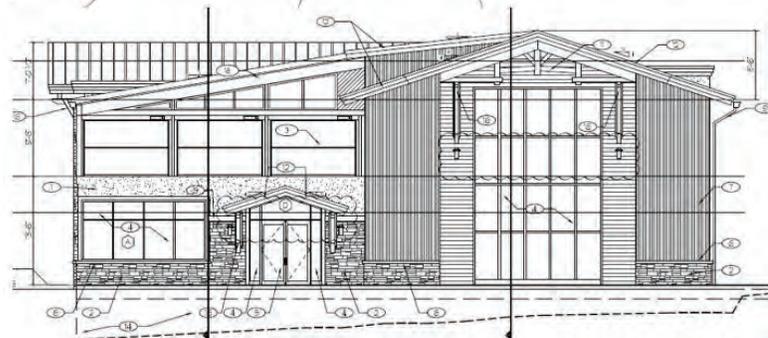
Proposed

- Outdoor dining
- Glass around front entry
- Stone veneer around windows



Proposed

- Indoor dining with new window system
- Wood siding around windows



RECOMMENDATION

The revised plans have been reviewed for compliance with the city design guidelines and the original conditions of approval and appear to be generally compatible with the overall character of the Gateway Overlay District. Staff recommends the ARC review the design and materials on the north elevation to assess whether additional conditions are appropriate. Staff also recommends the ARC discuss the design of the retractable roof and window system. Prior to the issuance of any permit for building and/or site work, staff will review final plan submittals for compliance with applicable city ordinances.

MODEL MOTIONS

Approval

I move to issue a Certificate of Design Compliance for project SPL-18-009, a request from Dugala Enterprises LLC for a new restaurant and distillery at 7321 South Canyon Centre Parkway.

- Add any conditions of approval...

Denial

I move to deny a Certificate of Design Compliance for project SPL-18-009, a request from Dugala Enterprises LLC for a new restaurant and distillery at 7321 South Canyon Centre Parkway.

- List reasons for denial...

ATTACHMENTS

1. Project Narrative
2. Plan Submittal



Dugala Restaurant and Distillery

12-14-18

RE: Architectural Changes

To Whom It May Concern:

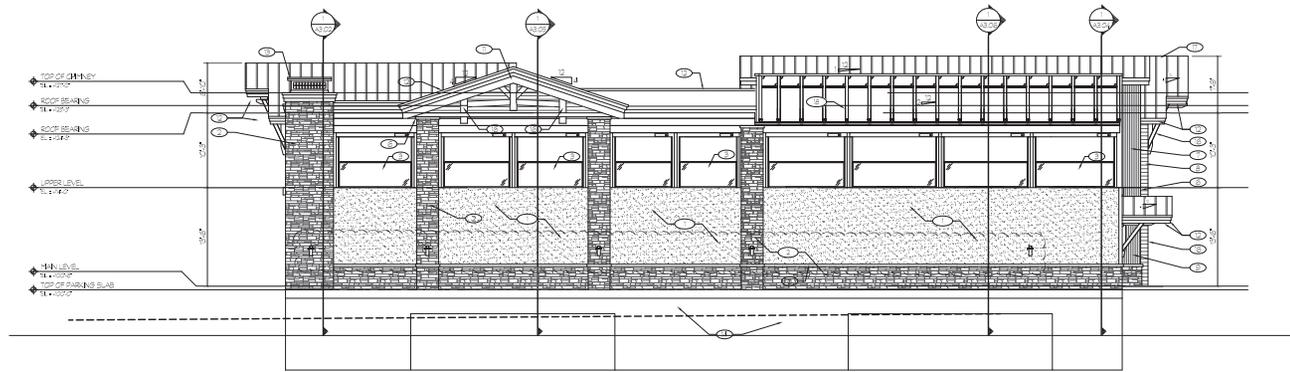
Below is a written summary of the current design for the Dugala Distillery project in relation to the previous design.

- Elevation and floorplans have been modified slightly to accommodate actual interior space planning and distillery equipment needs that was previously incomplete. The design intent, site placement, number of stories, square footage and overall massing of the building have stayed the same.
- Addition of a retractable roof system over the 2nd level patio area for year-round utilization of the space.
- Change of front entry roof pillars to corbels to comply with property-line restrictions.
- Simplification of East elevation due to structural restrictions of the parking structure below.
- Reconfiguration of exterior materials to accommodate structural needs and inclusion of retractable roof system
- Minor modification to windows in North-West corner.

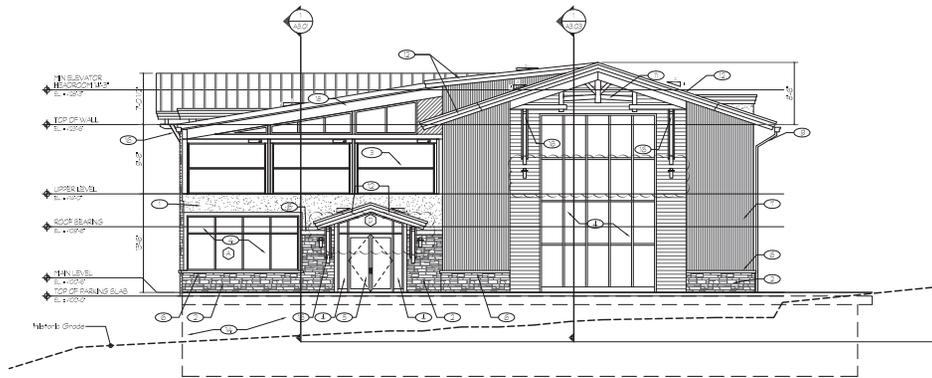
Sincerely,

Guillaume Belgique

Project Architect
Architecture Belgique, Inc.
801-561-1333



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES:	
	HORIZONTAL WOOD SIDING SEE
	SHLACO SIDING
	CORRUGATED STEEL SIDING SEE
	GLASS GUARD RAIL SEE
	STANDING SEAM METAL ROOFING SEE
	SYNTHETIC STONE SIDING SEE

EXTERIOR ELEVATION KEYED NOTES

- 1 SHLACO SIDING: COAT EXTERIOR WOOD SYSTEM. PROFILES AND INSTALL REQUIRED CONFORMANCE IN SHLACO PER MANUFACTURER'S RECOMMENDATIONS. COLOR AND TEXTURE FINISH TO BE SELECTED BY OWNER.
- 2 SYNTHETIC STONE VENEER: INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 3 LEAF PANEL WINDOW: THERMO GLASS WINDOW SYSTEM.
- 4 SCHEDULE WINDOW: SEE WINDOW SCHEDULE AND TYPES ON SHEET A2.02. WINDOW COLOR AND MANUFACTURER TO BE SELECTED BY OWNER. PROFILE AND INSTALL ALL REQUIRED WINDOW FINISHES PER MANUFACTURER'S RECOMMENDATIONS.
- 5 SCHEDULE DOOR: SEE DOOR SCHEDULE AND TYPES ON SHEET A2.02. DOOR COLOR AND MANUFACTURER TO BE SELECTED BY OWNER. PROFILE AND INSTALL ALL REQUIRED DOOR FINISHES PER MANUFACTURER'S RECOMMENDATIONS.
- 6 READY-CONCRETE CAP: COLOR BY OWNER.
- 7 CORRUGATED STEEL SIDING OVER CONTINUOUS WATER RESISTIVE BARRIER.
- 8 HORIZONTAL WOOD SIDING OVER WATER RESISTIVE BARRIER.
- 9 STANDING SEAM METAL ROOFING: INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 10 OTHER FINISH: FINISH PER OWNER.
- 11 OTHER FINISH: FINISH PER OWNER.
- 12 PRE-FINISHED ALUMINUM VINYL SUTHERLAND FINISH: FINISH PER OWNER.
- 13 METAL CHIMNEY CAP WITH METAL WINDSHIELD SCREEN.
- 14 PARKING / PLAZA STRUCTURE BY OTHERS, N/C.
- 15 FUTURE BUILDING, N/C.
- 16 OTHER FINISH: SEE STRUCTURAL FINISH PER OWNER.
- 17 FACTORY FINISH STANDING SEAM METAL ROOFING: FINISH TO BE SELECTED BY OWNER.
- 18 LEAF SQUARE ROOF.

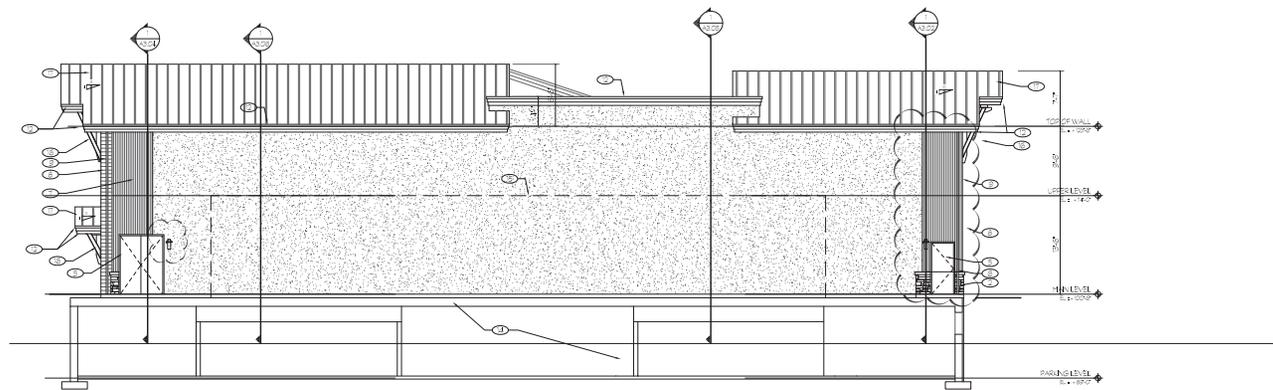


Dugala Restaurant / Distillery
7350 South Wasatch Blvd.
Cottonwood Heights, UT 84121

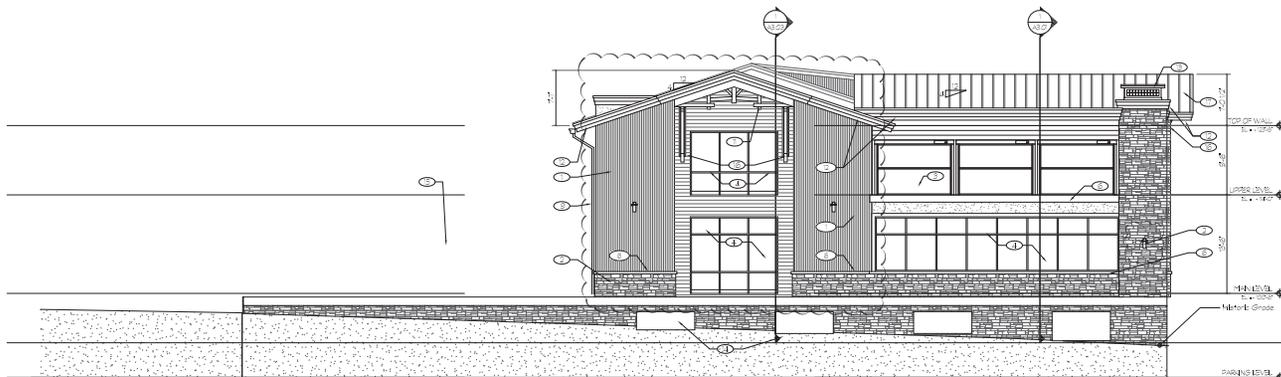
Date
Oct. 12, 2018

Sheet Title
NORTH
& WEST
ELEVATIONS

Sheet Number
A2.01



1 SOUTH ELEVATION
A2.02 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A2.02 SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES:

	HORIZONTAL WOOD SIDING SEE
	STUCCO SEE
	CORRUGATED STEEL SIDING SEE
	GLASS GUARD RAIL SEE
	SPACING BEAM/METAL ROOFING SEE
	SYNTHETIC STONE SIDING SEE

EXTERIOR ELEVATION KEYED NOTES:

- 1 STUCCO FINISH COAT TO BE PERMANENTLY PROTECTED FROM UV RADIATION AND WEAR. FINISH TO BE SELECTED BY OWNER.
- 2 SYNTHETIC STONE FINISH. MATERIAL PER MANUFACTURERS RECOMMENDATIONS.
- 3 LEAD FRAME THERMALLY-BREAKING GLASS WINDOW SYSTEM.
- 4 GLAZED WINDOW. SEE WINDOW SCHEDULE AND TYPES ON SHEET A2.01. WINDOW COLOR AND MANUFACTURE TO BE SELECTED BY OWNER. PROFILE AND METALS TO BE SELECTED BY OWNER PER MANUFACTURERS RECOMMENDATIONS.
- 5 SCHEDULED DOOR. SEE DOOR SCHEDULE AND TYPES ON SHEET A2.02. DOOR COLOR AND MANUFACTURE TO BE SELECTED BY OWNER. PROFILE AND METALS TO BE SELECTED BY OWNER PER MANUFACTURERS RECOMMENDATIONS.
- 6 PRECAST CONCRETE CAP COLOR BY OWNER.
- 7 CORRUGATED STEEL SIDING OVER CONTINUOUS WATER RESISTIVE BARRIER.
- 8 HORIZONTAL WOOD SIDING OVER WATER RESISTIVE BARRIER.
- 9 STEEL GUTTER SYSTEM AT ALL METAL ROOFS. DOWNSPOUTS TO BE IN 2" DIA. DOWNSPOUT SYSTEM.
- 10 THERMALLY-BREAKING WINDOW SYSTEM.
- 11 THERMALLY-BREAKING WINDOW SYSTEM.
- 12 THERMALLY-BREAKING WINDOW SYSTEM.
- 13 THERMALLY-BREAKING WINDOW SYSTEM.
- 14 PARKING/PLAZA STRUCTURE BY OTHERS. N/C.
- 15 FUTURE BUILDING. N/C.
- 16 THERMALLY-BREAKING WINDOW SYSTEM.
- 17 FACTORY FINISH SPACING BEAM/METAL ROOFING TO BE SELECTED BY OWNER.
- 18 LEAD GLAZED WINDOW.



Dugala Restaurant / Distillery
7350 South Wasatch Blvd.
Cottonwood Heights, UT 84121

Date
Oct. 12, 2018

Sheet Title
SOUTH & EAST ELEVATIONS

Sheet Number
A2.02



MEMORANDUM

To: CH Architectural Review Commission (ARC)
From: Matt Taylor, Senior Planner
Date: December 19, 2018
Subject: Project CUP-18-012; Canyon Centre Courtyard by Marriot Hotel

REQUEST

An application has been made by YIP Cottonwood LLC for consideration of a Certificate of Design Compliance for a proposed Courtyard by Marriot hotel located at 7450 S Wasatch Blvd and located within the MU (Mixed-Use) zone. The 149-room hotel is situated within the master-planned Canyon Centre Development and constitutes the second phase of three developments on top of a parking garage podium facility currently under construction. The building in a total of 86,500 gross square feet.

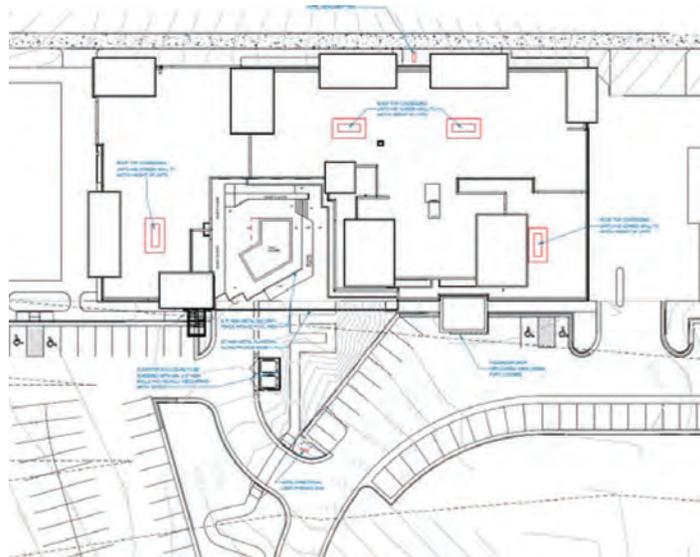


Figure 1- Overall Hotel Phase Site Plan

The applicant has submitted a proposed site plan, landscaping plan, building elevations, and building lighting plan. Included in this memo are copies of each relevant plan.

APPROVAL PROCESS

The ARC is required by ordinance to review developments of this size in the MU (Mixed-Use) zone for design compliance.

Uses in the MU zone over 25,000 square feet of gross leasable area shall be reviewed for building design, scale and architectural compatibility with established design principles by the city's architecture review commission (the

“ARC”). The ARC shall make a recommendation regarding the proposed use to the planning commission.

B. The following criteria shall be considered by the ARC and the planning commission when reviewing a site plan(s) for uses over 25,000 square feet:

1. Detailed building elevations and color/material boards shall be submitted to and reviewed by the ARC prior to any consideration by the planning commission of an application for site plan approval.
2. Exterior building materials must be approved by the ARC, and shall match the quality, texture and architectural intent of surrounding buildings, if applicable, and the intent and regulations of any applicable overlay zone design guidelines.
3. All buildings shall have a minimum of 15% transparency on all floors, which shall consist of windows that provide visibility from the public right-of-way or adjacent property.
4. Buildings with more than one story shall be designed to have the appearance and function of a multi-story buildings through the use of windows, doors, awnings, canopies and other appropriate building and architectural elements.
5. The front façade of buildings, visible from the public right of way, shall be designed to have ample bulk and massing and design quality to adequately establish a prominent, pedestrian-oriented streetscape.
6. External unit doors must be screened from neighboring land uses to an extent determined appropriate by the ARC based on the potential impact to surrounding land uses. (19.36.150.C)

Certificate of Design Compliance Required

The subject property is in the city’s Gateway Overlay District, which is an overlay zone that requires Architectural Review Commission review and approval before any new development takes place, or before changes are made to an existing development. Issuance of a Certificate of Design Compliance by the ARC constitutes such approval. (19.49.020.D).

The ARC’s final review recommendations will be forwarded to the Planning Commission for final conditional use and site plan approval/denial of this proposal.

ANALYSIS

The applicant has submitted a proposed site plan, landscaping plan, building elevations, a building materials board, and a site/building lighting plan. Included in this memo are copies of each relevant plan.

Architecture

The applicant’s proposed building architecture primarily uses a combination of:

- Cultured Stone
- An EIFS system (painted light French gray 0055)
- A wood finish composite metal panel system (light cherry).
- Metal roofing fascia trim (dark bronze)

Per the applicant's narrative, the proposed architecture:

Architecturally, the hotel was conceived as a layering of stone, glass, natural wood and metal facades wrapping around a mixed-use array of interior functions for local hikers, bikers, skiers, diners and visiting guests. The use of traditional materials, with a contemporary twist, provides clean yet approachable lines befitting its gateway location. A palette of muted colors provides a welcoming and comfortable context for a getaway experience.

Building on top of a parking podium has provided an opportunity for a series of public and semi-public benefits. With connections to Wasatch Boulevard, the site and hotel are positioned for a very walkable experience with easy access to nearby restaurants, the mountain shuttles and neighboring ski resorts. Internal traffic circulation will be enhanced by signs directing visitors to parking levels with available stalls.

Site Plan / Landscaping

Plans are attached for the courtyard and rooftop courtyard landscaping. These are required to be approved by the ARC.

Signage

Signage is limited to "one sign for each principle use... whose business fronts on a public street" (19.36.150.C.1.a). One of the proposed hotel signs on the west elevation will need to be eliminated. Monument sign locations are identified on the site plan. The sign design package is included in the materials.

RECOMMENDATION

Staff recommends that the ARC review the proposal and judge it per the criteria cited above and per the City's Design Review criteria. If the proposal is found to be satisfactory, staff recommends that the ARC issue an updated Certificate of Design Compliance. If there are concerns or proposed modifications, the ARC should either issue a Certificate with conditions, or schedule a follow-up meeting to continue its deliberation.

MODEL MOTIONS

Approval

I move to issue a Certificate of Design Compliance for Project CUP-18-012, a request from YIP Cottonwood LLC, for the construction for a proposed Courtyard by Marriot hotel located at 7450 S Wasatch Blvd and located within the MU (Mixed-Use) zone.

- Add any conditions of approval...

Denial

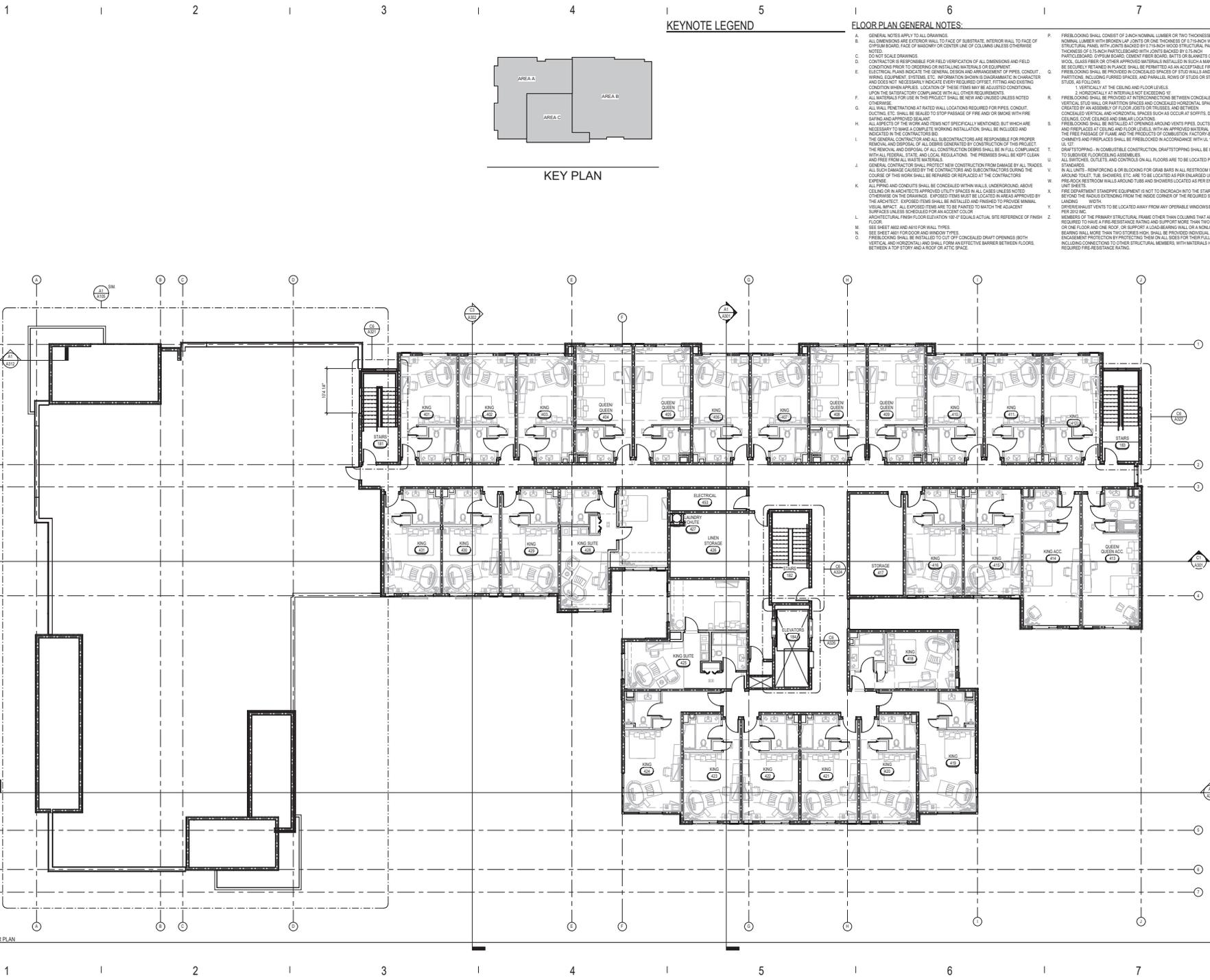
I move to deny a Certificate of Design Compliance for Project CUP-18-012, a request from YIP Cottonwood LLC, for the construction for a proposed Courtyard by Marriot hotel located at 7450 S Wasatch Blvd and located within the MU (Mixed-Use) zone.

- List reasons for denial...

ATTACHMENTS

1. Project Narrative
2. Plan Submittal (site plan, landscape plan, building elevations, etc.)

1
2
3
4
5
6
7
D
C
B
A



KEYNOTE LEGEND



KEY PLAN

FLOOR PLAN GENERAL NOTES:

- A. GENERAL NOTES APPLY TO ALL DRAWINGS.
- B. ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF SUBSTRATE, INTERIOR WALL TO FACE OF DRYWALL BOARD, FACE OF MASONRY OR CENTER LINE OF COLUMN UNLESS OTHERWISE NOTED.
- C. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- D. ELECTRICAL PLANS INDICATE THE GENERAL LAYOUT AND ARRANGEMENT OF PIPES, CONDUIT, WIRING, EQUIPMENT, SYSTEMS, ETC. INFORMATION SHOWN IS DISCRIMINATE IN CHARACTER AND DOES NOT NECESSARILY INDICATE EXACT REQUIRED OFFSET, FITTING AND DISTANCE.
- E. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- F. ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW UNLESS OTHERWISE NOTED.
- G. OTHER TRADES SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND EQUIPMENT.
- H. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AND INDICATED IN THE CONTRACTORS BID.
- I. THE GENERAL CONTRACTOR OF ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
- J. GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- K. ALL PIPES AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED PIPES SHALL BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED PIPES SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL DRIPPOLE PIPES ARE TO BE FINISHED TO MATCH THE SURFACE SURFACES UNLESS OTHERWISE NOTED FOR AN ACENT COLOR.
- L. ARCHITECTURAL FINISH FLOOR ELEVATION: 100' 0" (SEE S100'S ACTUAL SITE REFERENCE OF FINISH FLOOR).
- M. SEE SHEET A010 AND A011 FOR WALL TYPES.
- N. SEE SHEET A011 FOR DOOR AND WINDOW TYPES.
- O. FIREBLOCKING SHALL BE INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS BETWEEN TOP STORY AND ROOF OR ATTIC SPACE.
- P. FIREBLOCKING SHALL CONSIST OF 2X4 NOMINAL LUMBER OR TWO THICKNESSES OF 1/2" THICK NOMINAL LUMBER WITH PROPOSED LAP JOINTS OF ONE THICKNESS OF 1/2" THICK WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 1/2" THICK WOOD STRUCTURAL PANEL OF ONE THICKNESS OF 1/2" THICK PARTICLEBOARD WITH CENTER BACKED BY 1/2" THICK PARTICLEBOARD. OPSYS BOARD, CONCRETE FIBER BOARD, BATTES OR BLANKETS OF MINERAL WOOL, GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE SHALL BE PERMITTED AS AN ACCEPTABLE FIREBLOCK. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STAIR WALLS AND PARTITIONS, INCLUDING FIRE-RATED SPACES, AND PARALLEL ROWS OF STUDES OR STAGGERED STUDS, AS FOLLOWS:
1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.
- Q. FIREBLOCKING SHALL BE PROVIDED AT INTERSECTIONS BETWEEN CONCEALED VERTICAL STAIR WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN MEMBERS OF FLOOR JOISTS OR TRUSSES AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DRIP TRAYS, COSSIES, CORNERS AND SIMILAR LOCATIONS AND BETWEEN:
S. FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND OTHER PENETRATIONS THROUGH FLOORS WITH AN APPROVED METHOD TO RESET THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION. FACTORY-BUILT COMBUSTIBLE FIREPLACES SHALL BE FIREBLOCKED IN ACCORDANCE WITH UL 101 AND UL 127.
- T. DRAFT STOPPING - IN COMBUSTIBLE CONSTRUCTION, DRAFTSTOPPING SHALL BE INSTALLED TO SUBVENTE FLOORING ASSEMBLIES.
- U. ALL SWITCHES, OUTLETS, AND CONTROL SW. WALL FLOOR ARE TO BE LOCATED PER ADA STANDARDS.
- V. ALL SWITCHES, OUTLETS, AND CONTROL SW. WALL FLOOR ARE TO BE LOCATED PER ADA STANDARDS.
- W. ALL SWITCHES, OUTLETS, AND CONTROL SW. WALL FLOOR ARE TO BE LOCATED PER ADA STANDARDS.
- X. FIRE DEPARTMENT STAMPPIPE EQUIPMENT IS NOT TO ENCRUSCH INTO THE STAIR LANDING BEFORE THE ROOMS EXTERIOR FROM THE REAR CORNER OF THE REQUIRED STAIR LANDING. WIDTH.
- Y. OTHERWISERWENT VENTS TO BE LOCATED AWAY FROM ANY OTHERS. MINOR DIMENSIONS AS PER 2015 IBC.
- Z. MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMN THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF OR SUPPORT A LOAD-BEARING WALL OR NONLOAD-BEARING WALL MORE THAN TWO STORES HIGH, SHALL BE PROVIDED INDIVIDUAL ENCASEMENT PROTECTION BY PROTECTIVE PIPES ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING.



MARRIOTT COURTYARD - COTTONWOOD
COTTONWOOD HEIGHTS, UTAH



PROJECT NUMBER: [blank]
PAGE NUMBER: [blank]
OWN BY: [blank] CHG BY: [blank]
DATE: [blank]
SCHEMATIC

LEVEL 4 FLOOR PLAN

DRAWING NUMBER
A104



BWA
ARCHITECTS

**COTTONWOOD
MARRIOTT**

Cottonwood Courtyard by Marriott
Cottonwood Heights, Utah



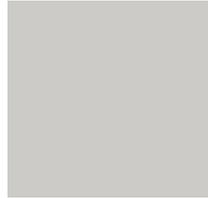
Cultured Stone - Span
Stone System



Longboard - Sand Drift
Wood Finish Composite
Metal Panel System



Longboard -
Dark National Walnut
Wood Finish Composite
Metal Panel System



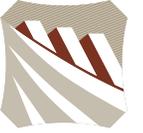
SW - Light French Gray 0055
EIFS System



SW - Grizzle Gray 7068
EIFS System



Dark Bronze
Metal Roofing Fascia
Trim System



BWA
ARCHITECTS

COTTONWOOD MARRIOTT

Cottonwood Courtyard by Marriott
Cottonwood Heights, Utah



Cultured Stone - Span
Stone System



Longboard - Sand Drift
Wood Finish Composite
Metal Panel System



Longboard -
Dark National Walnut
Wood Finish Composite
Metal Panel System



SW - Light French Gray 0055
EIFS System



SW - Grizzle Gray 7068
EIFS System



Dark Bronze
Metal Roofing Fascia
Trim System





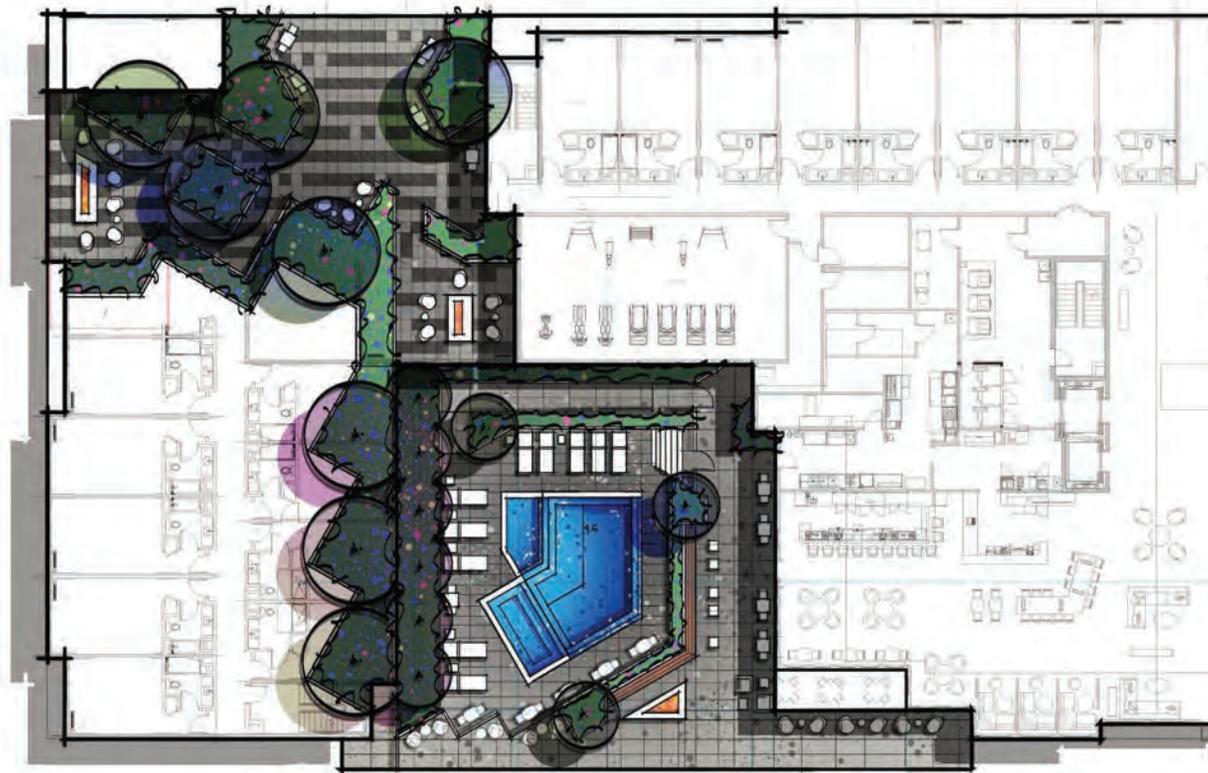


BWA
ARCHITECTS

**COTTONWOOD
MARRIOTT
STONE SAMPLE**

Cottonwood Courtyard by Marriott
Cottonwood Heights, Utah

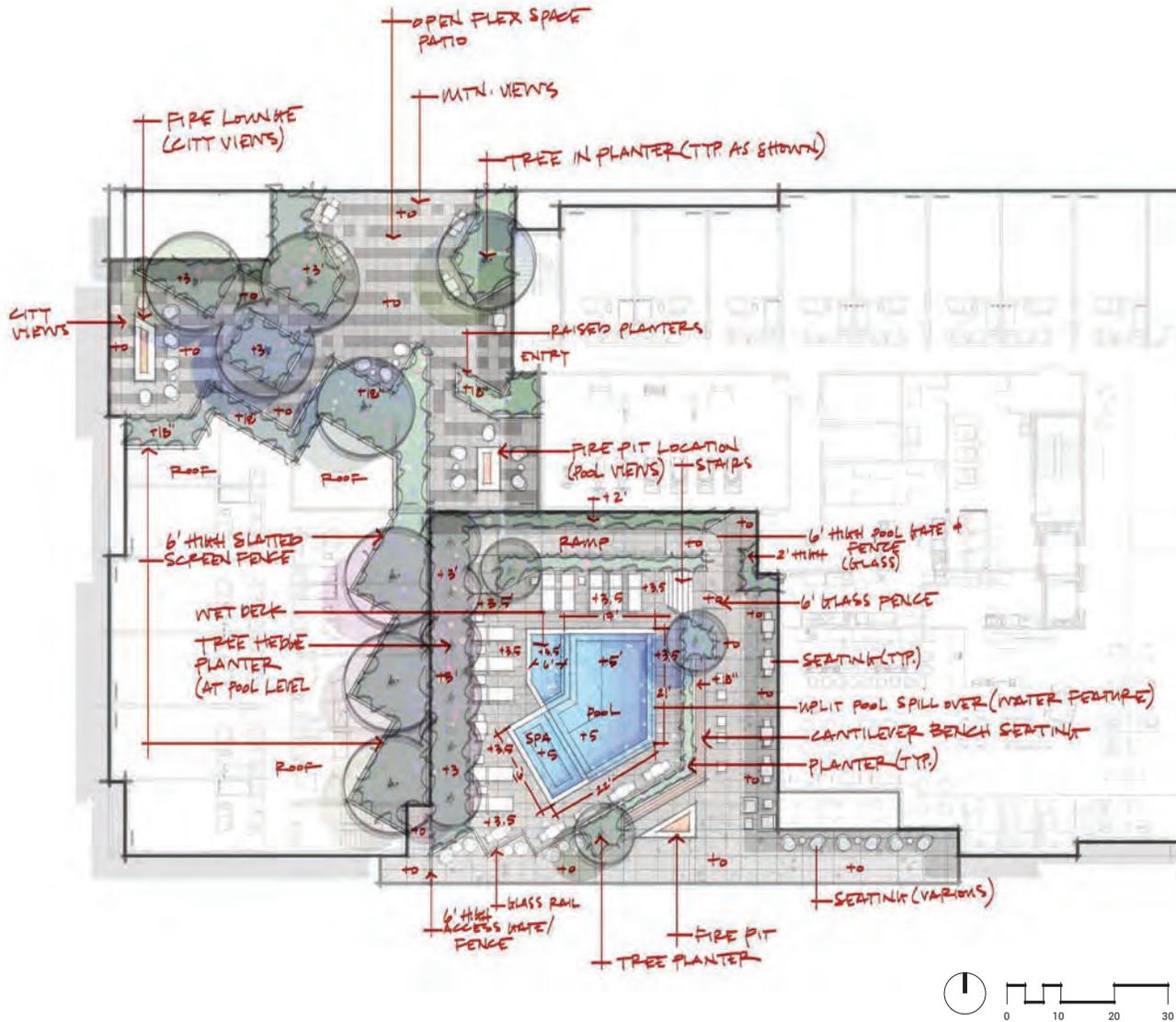




COURTYARD MARRIOTT // COTTONWOOD HEIGHTS
 CONCEPT 05-A // ROOFTOP AND PODIUM POOL DECK

6/4

LOFTSIXFOUR



COURTYARD MARRIOTT // COTTONWOOD HEIGHTS
 CONCEPT 05-A // ROOFTOP AND PODIUM POOL DECK WITH NOTES

CHANNEL LETTERS

Channel Letter Size Relative to the Space Available:

Design intent is to ensure legibility based on site constraints for sight lines and distances.

New-build design development should include appropriate location and area for sign placement.

Raceways are not the preferred method for wiring. Raceways should only be used in cases where absolutely necessary and approval must be obtained from Marriott's Global Design and Project Management Team. If used, the raceways should be painted to match the building background color.

Channel Letter Color:

Normally the sign letters are colored by day and white by night (dual-color film) when the wall background is light toned. Where the building color is dark toned, white faces by day and night should be used.

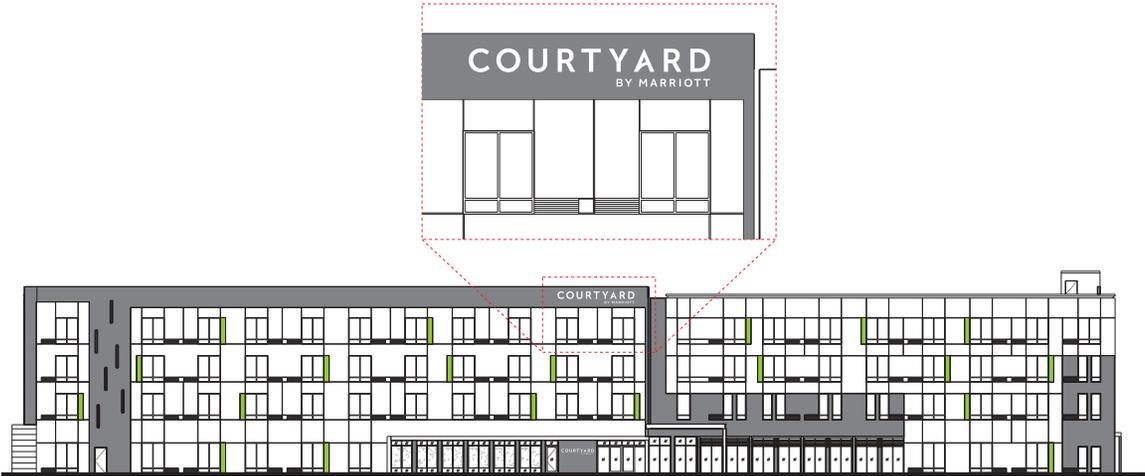
Alternate colors and materials should never be substituted on the illuminated channel letters shown in these guidelines.

Size and Placement of the Word "Marriott":

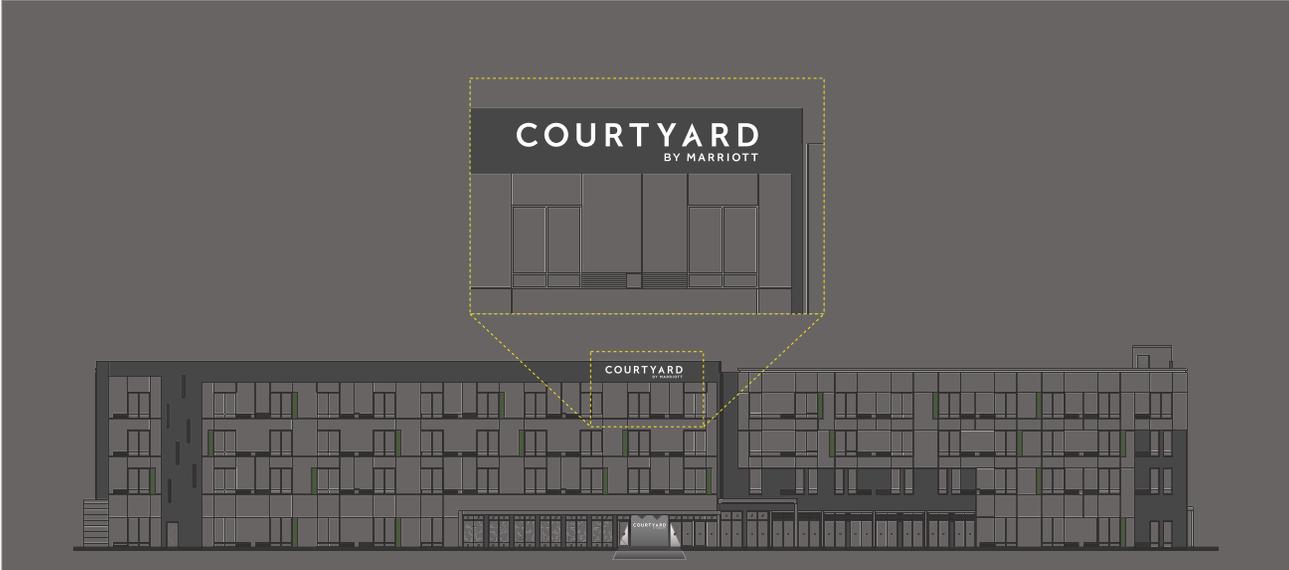
Proportion, size, and placement is included in these guidelines. Any exceptions must be approved by Marriott Global Design and Project Management Team.

CHANNEL LETTER APPLICATIONS

White option channel letters on a dark tone background. Letters will appear white during the daytime and will illuminate white at night.



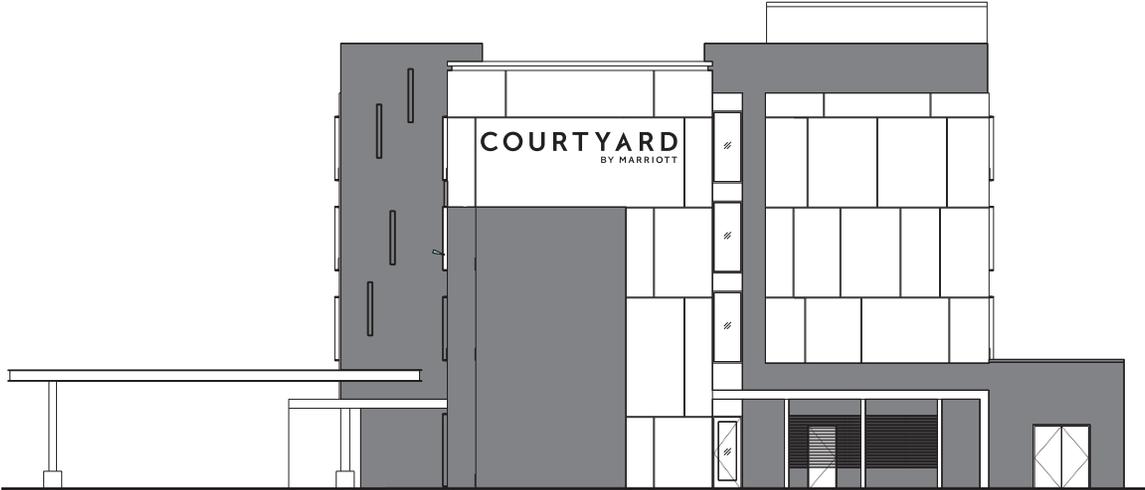
Daytime View | Letters appear white during the daylight



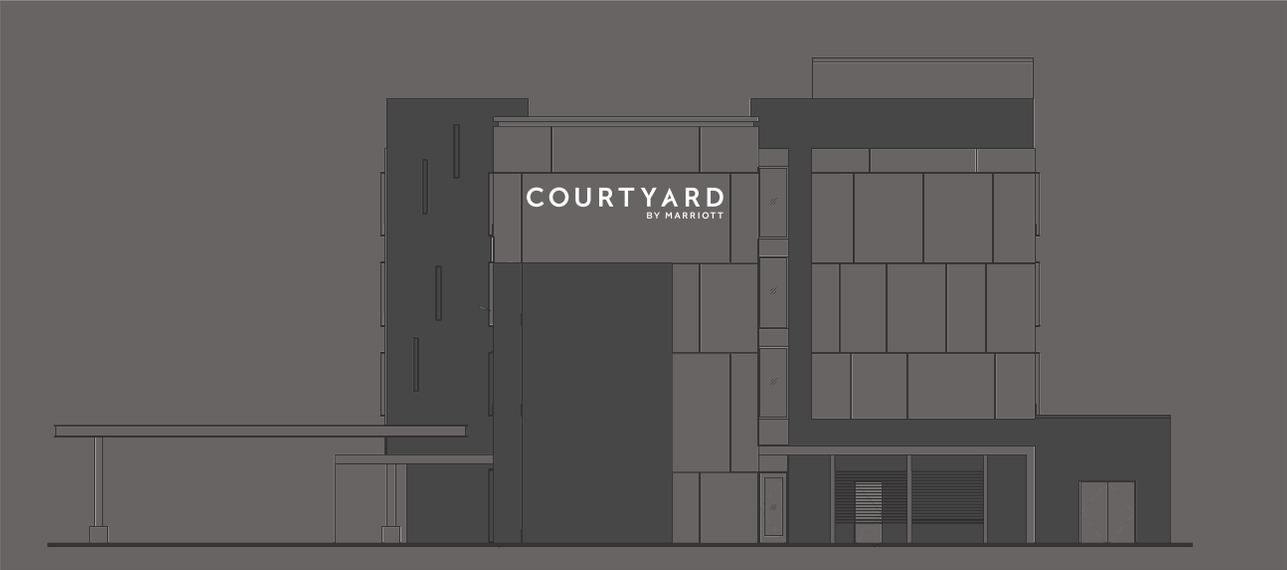
Nighttime View | Letters illuminate white at night

CHANNEL LETTER APPLICATIONS

Gray channel letters on a light tone background. Letters will appear gray during the daytime and will illuminate white at night.



Daytime View | Letters appear gray during the daylight



Nighttime View | Letters illuminate white at night

CHANNEL LETTER SPECIFICATIONS

Channel Letter Specifications:

Construction: .050" aluminum channel letter with .063" aluminum backs

Face Material: 3/16" 7328 white acrylic

Trim Cap: 1" paint to match Pantone® 426 C gray, satin finish

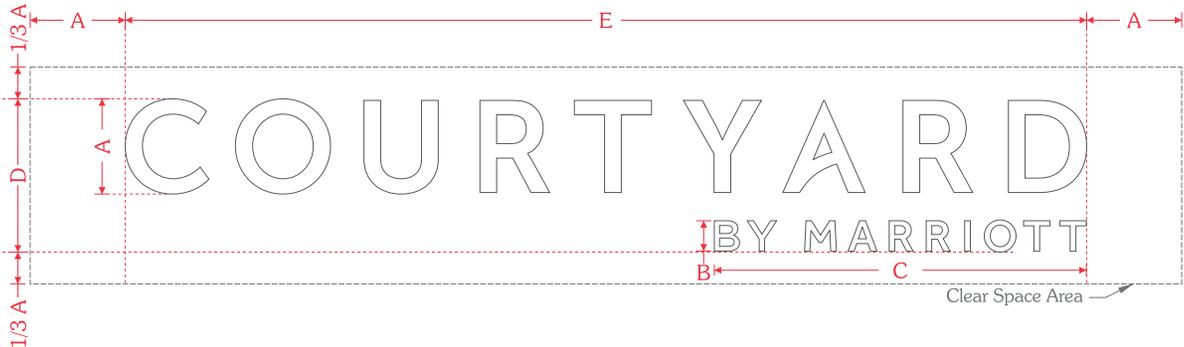
Illumination: GE White LED's as required

Exterior Finish: Paint to match Pantone® 426 C gray, satin finish

Interior Finish: Paint reflective white

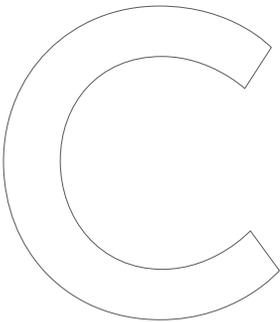
Channel Letter Face Specifications:

Face Material: 3/16" 7328 white acrylic



Model #	A	B	C	D	E
C-24-CL	24"	8 11/16"	8'-10 9/16"	3'-3 11/16"	20'-2 9/16"
C-30-CL	30"	9 9/16"	9'-9 5/16"	4'-0 5/16"	25'-3 1/4"
C-36-CL	36"	11 7/16"	11'-8 3/4"	4'-9 15/16"	30'-3 7/8"
C-48-CL	48"	15 1/4"	15'-7 11/16"	6'-5 1/4"	40'-5 3/16"

* Letter height determined by the height of the letter "C".



Daytime Appearance



Nighttime Appearance



Side Profile

For Dark Tone Building Backgrounds | Letters to appear white during the day and illuminate white at night.

MONUMENT SPECIFICATIONS

Monument Specifications:

Construction: Aluminum angle frame with .125" aluminum shoe-box style faces

Face Construction: Routed aluminum with backer panel

Retainer: Bleed face

Illumination: GE White LED's

Exterior Finish: Paint Pantone® 426 C gray, satin finish, and Pantone® 877 C Silver, satin finish

Interior Finish: Paint reflective white

Monument Face Specifications:

Face Construction: Routed aluminum with backer panel

Face Decoration: Paint Pantone® 426 C gray, satin finish

Backer Panel: .118" white solar grade polycarbonate

* "Courtyard" and "Marriott" to appear white during the day and illuminate white at nighttime.

Pole Cover Specifications:

* Preferred method to have monument base match building hardscape (stone, brick, etc., provided by general contractor)

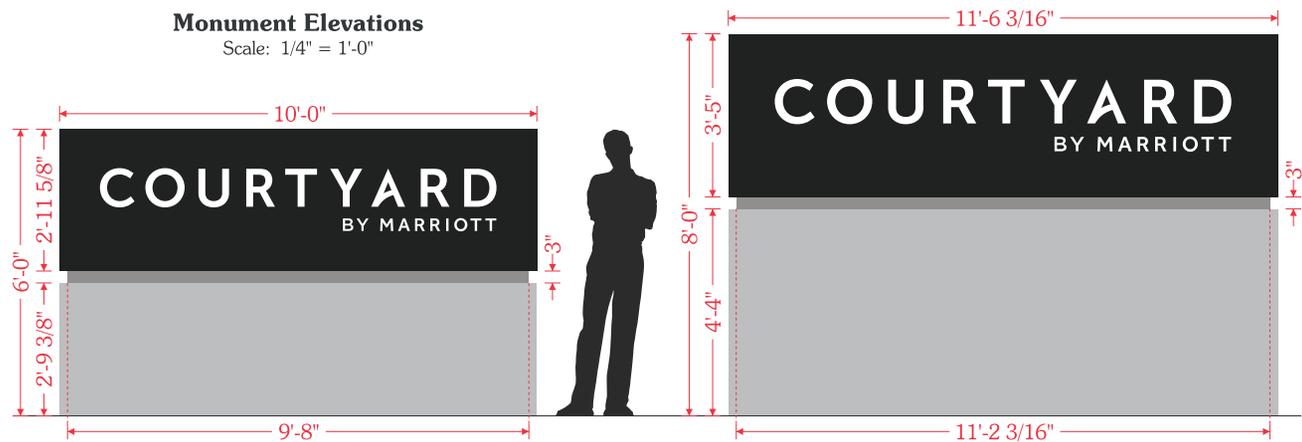
Construction: Aluminum angle frame with .080" aluminum skins

Exterior Finish: Paint Matthews 41342SP Brushed Aluminum, satin finish



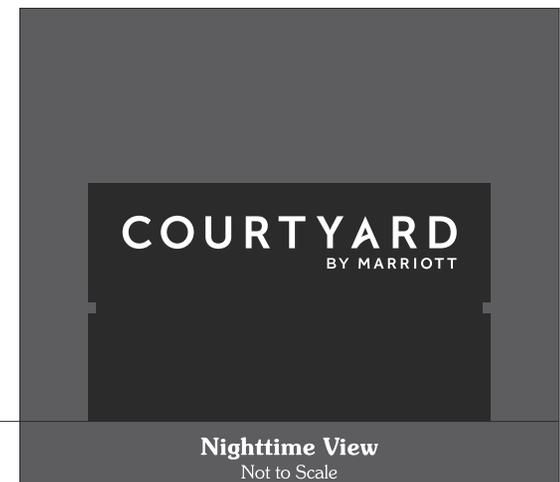
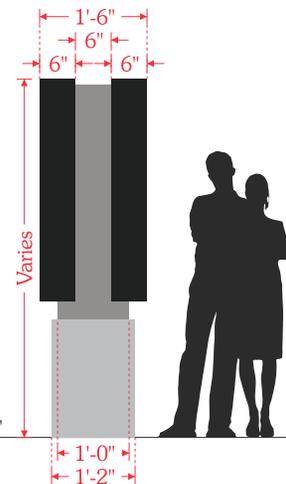
Monument Elevations

Scale: 1/4" = 1'-0"



Monument End Detail

Scale: 3/8" = 1'-0"



MONUMENTS

The primary signage structure shall not include non-Marriott brands unless required by code or development agreement. Signs shared by multiple brands shall be reviewed and approved by Marriott Global Design & Project Management prior to jurisdictional review and/or supplier fabrication.