



ARCHITECTURAL REVIEW COMMISSION AGENDA

June 27, 2019

Notice is hereby given that the Cottonwood Heights Architectural Review Commission will hold a meeting (City Council Work Room) beginning at **6:00 p.m. on Thursday, June 27, 2019**, located at 2277 E. Bengal Blvd., Cottonwood Heights, Utah.

6:00 p.m. BUSINESS MEETING

1.0 Welcome and Acknowledgements

- 1.1. Ex Parte Communications or Conflicts of Interest to Disclose

2.0 Business Items

2.1. (Project SPL-19-008)

Action on a request from Heather English (Allied Electric Sign Company) for consideration of a Certificate of Design Compliance for new signs at 1344 E. Fort Union Blvd.

2.2 (Project SPL-19-003)

Action on a request by Roderick Enterprises for approval of a Certificate of Design Compliance for an exterior façade remodel at the KFC restaurant at 6890 S. Highland Dr.

2.3 (Project CUP-19-005)

Action on a request by Stephen Selu (Kimley-Horn) for approval of a Certificate of Design Compliance for a new 7-Eleven convenience store and gas station at 7269 S. Union Park Ave.

2.3 (Project SPL-19-007)

Action on a request by 1700 Fort Union Partners LLC for approval of a Certificate of Design Compliance for 24 new townhomes at approximately 1700 E. Fort Union Blvd.

3.0 Consent Agenda

3.1. Approval of Minutes for June 27, 2019

(The Architectural Review Commission will move to approve the minutes of June 27, 2019 after the following process is met. The recorder will prepare the minutes and email them to each member of the Commission. The members will have five days to review the minutes and provide any changes to the recorder. If, after five days there are no changes, the minutes will stand approved. If there are changes, the process will be followed until the changes are made and the Commission agrees, at which time the minutes shall be deemed approved.)

4.0 Adjournment

Meeting Procedures

Items will generally be heard in the following order:

1. Staff Presentation
2. Applicant Presentation
3. Architectural Review Committee Deliberation
4. Architectural Review Committee Motion and Vote

Architectural Review Commission applications may be tabled if: 1) Additional information is needed in order to act on the item; OR 2) the Architectural Review Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. **NO agenda item will begin after 9 pm** without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regularly scheduled meeting.

Submission of Written Public Comment

Written comments on any agenda item should be received by the Cottonwood Heights Community and Economic Development Department no later than the day prior to the meeting at noon. Comments should be emailed to ahulka@ch.utah.gov. After the public hearing has been closed, the Planning Commission will not accept any additional written or verbal comments on the application.

Notice of Participation by Telephonic/Digital Means

Architectural Review Commission may participate in the meeting via telephonic communication. If a Commissioner does participate via telephonic communication, the Commissioner will be on speakerphone. The speakerphone will be amplified so that the other Commissioners and all other persons present in the room will be able to hear all discussions.

Notice of Compliance with the American Disabilities Act (ADA)

In compliance with the Americans with Disabilities Act, individuals needing special accommodations or assistance during this meeting shall notify the City Recorder at (801)944-7021 at least 24 hours prior to the meeting. TDD number is (801)270-2425 or call Relay Utah at #711.

Confirmation of Public Notice

On Monday, June 24, 2019 a copy of the foregoing notice was posted in conspicuous view in the front foyer of the Cottonwood Heights City Offices. The agenda was also posted on the City's website at www.cottonwoodheights.utah.gov and the State Public Meeting Notice website at <http://pmn.utah.gov>.

DATED THIS 24th DAY OF JUNE 2019

Paula Melgar, City Recorder



MEMORANDUM

To: Architectural Review Commission (ARC)
From: Matt Taylor, Senior Planner
Date: June 27, 2019
Subject: SPL-19-008; Speedway Gas Station Signs, 1344 E. Fort Union Blvd.

REQUEST

An application has been made by Allied Electric Sign Company on behalf of Speedway for approval of a Certificate of Design Compliance for new signs at 1344 E. Fort Union Blvd. The applicant's request is to replace the existing Shell gas station signs with new Speedway signs as a part of the gas station conversion. The subject property is in the Gateway Overlay District, so the proposed signs require Architectural Review Commission consideration and issuance of a Certificate of Design Compliance before they can be installed.



ARCHITECTURAL REVIEW COMMISSION AUTHORITY

The ARC is required to review new signs for compliance with applicable design guidelines and compatibility with surrounding properties, as required by section 19.49.060 of the zoning ordinance:

19.49.060 Gateway Overlay District.

C. Certificate of design compliance. A certificate of design compliance issued by the ARC shall be required before proceeding with any new development or changes to existing development in a

Gateway Overlay District. No alteration of the existing condition of land, structures, signs, landscaping or lighting, including, without limitation, demolition of any structure, application of new exterior siding material, creation of a new window or dormer, creation of a driveway or parking facility, construction of a deck, fence or garage, or enclosure of a porch shall be permitted within the Gateway Overlay District except as provided in this chapter.

D. General review criteria. The ARC must determine that the following general review criteria are met before issuing a certificate of design compliance for a project:

- 1. The proposed work must comply with the applicable design guidelines for that overlay district;*
- 2. The integrity of an individual historic structure is preserved, if applicable;*
- 3. The design of new buildings or additions must be compatible with surrounding gateway properties; and,*
- 4. The overall character of the Gateway Overlay District is protected.*

PROPOSAL

Pole Sign

EXISTING PYLON



PROPOSED PYLON



Wall Signs/Canopy Signs

EXISTING BUILDING FASCIA HEIGHT: 37"
FASCIA LENGTH: 50'-10" x LENGTH: 34'-5 3/4"



PROPOSED BUILDING

PHOTO ELEVATION DEPICTION INTENDED FOR GENERAL CONCEPT ILLUSTRATION. ACTUAL SIZING, COLORS & PERSPECTIVE WILL VARY FROM IMAGE.



LOCATION - REAR/LEFT



LOCATION - FRONT

EXISTING GAS CANOPY FASCIA HEIGHT: 37"
FASCIA LENGTH: 42'-0" x LENGTH: 105'-6 1/2"



PROPOSED GAS CANOPY

PHOTO ELEVATION DEPICTION INTENDED FOR GENERAL CONCEPT ILLUSTRATION. ACTUAL SIZING, COLORS & PERSPECTIVE WILL VARY FROM IMAGE.



LOCATION - LEFT/FRONT



LOCATION - FRONT/RIGHT

Car Wash Signs

EXISTING BUILDING FASCIA HEIGHT: 37"
FASCIA LENGTH: 19'-11 1/4" x LENGTH: 37'-7 1/2"



PHOTO ELEVATION DEPICTION INTENDED FOR GENERAL CONCEPT ILLUSTRATION. ACTUAL SIZING, COLORS & PERSPECTIVE WILL VARY FROM IMAGE.

PROPOSED BUILDING



LOCATION - LEFT (ENTER)



LOCATION - FRONT



LOCATION - RIGHT (EXIT)

Gas Pump Design



DESIGN GUIDELINES

Staff recommends that the ARC review the proposed signs to determine whether the proposed design is in harmony with applicable design guidelines. Some of the applicable sign guidelines include:

- Signs should be in scale with and in proportion to the primary building façade so that the signs do not dominate the appearance.
- Sign colors, materials, and design should be compatible with that of the primary building façade.

RECOMMENDATION

Staff has completed an initial review of the proposed signs for compliance with the zoning ordinance and applicable design guidelines. Prior to the issuance of any permit for building and/or site work, staff will review final plan submittals for compliance with applicable city ordinances. Staff recommends approval of a Certificate of Design Compliance.

MODEL MOTIONS

Approval

I move to issue a Certificate of Design Compliance for project SPL-19-008.

- Add any conditions of approval...

Denial

I move to deny a Certificate of Design Compliance for project SPL-19-008 based on the following findings.

- List reasons for denial...



June 19th, 2019

City of Cottonwood Heights

Planning & Zoning

2277 S Bengal Blvd.

Cottonwood Heights, UT 84121

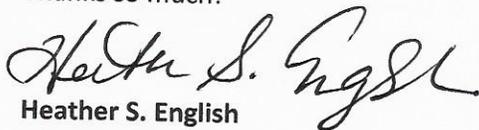
Re: Sign Project Review Narrative- Speedway Location #9414- 1344 E Fort Union Blvd

Dear Sir or Madame,

I am working with Allied Electric & Sign and Allen Industries on a number of Speedway gas station conversions in the state. In an effort to keep the ball rolling with permitting for the station signage there on Fort Union Blvd, we are requesting a review by the ARC so that a certificate of design compliance can be obtained. Speedway has proposed changes that are very close to the existing signage that Shell had in place so there are no drastic design differences. Speedway badge logos are proposed to replace the shell emblems and there is proposed non illuminated lettering proposed in place of the Food Mart signage. Speedway intends to utilize similar directional signage on the car wash to what is currently in place and to reuse the existing freestanding sign structure.

Speedway uses white and a traditional red color in their branding, which appear to be primary colors used for other neighboring businesses. Trader Joes, The UPS Store, Jiffy Lube and SkiNsee all incorporate these colors into their exterior image programs. Not only will the gas station site layout remain intact, but the color scheme will blend right into the area and provide further continuity. Speedway is looking forward to opening its first stations in UT and this one is proposed to be uniform with all of the other 40 station conversions in the state. We look forward to the ARC Review and look forward to hearing positive feedback about our proposal.

Thanks so much!


Heather S. English

President

HSE Permit Solutions

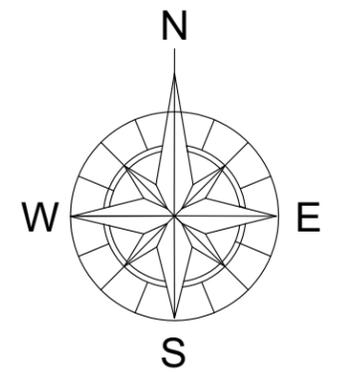
PO Box 363

Pleasant Garden, NC 27313



SITE PLAN LEGEND

- 1** STORE FRONT - 26" SPEEDWAY VINYL LETTERS - CENTER
- 2** STORE REAR - 26" SPEEDWAY VINYL LETTERS - CENTER
- 3** GAS CANOPY LEFT - 26" SPEEDWAY BADGE - RIGHT
- 4** GAS CANOPY RIGHT - 26" SPEEDWAY BADGE - LEFT
- 5** CAR WASH FRONT - 26" SPEEDY WASH VINYL LETTERS - CENTER
- 6** CAR WASH FRONT - SPEEDY WASH ENTER -
- 7** CAR WASH FRONT - SPEEDY WASH DO NOT ENTER -
- 8** CAR WASH REAR - SPEEDY WASH EXIT
- 9** PYLON - REPLACEMENT FACES



SITE PLAN
SCALE: NTS



Client Review Status

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 Approved Approved as Noted Revise & Resubmit
 Name _____
 Title _____ Date _____

Declaration

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Date / Description

05/02/19	Issue Date
05/08/19	Added Enter/Exit/Do Not Enter AMS
05/10/19	pgs 2, 8, 10 - ZWB
-	3 -
-	4 -

Project Information

Client	Speedway #9414 - Legacy #62092
	1344 East Fort Union Boulevard
	Salt Lake City, UT 84047
File	SW.9414 Salt Lake City, UT 302
Sales	House Design ZWB PM JB



EXISTING BUILDING FASCIA HEIGHT: 37"
FASCIA LENGTH: 50'-10" x LENGTH: 34'-5 3/4"



PROPOSED BUILDING

PHOTO ELEVATION DEPICTION INTENDED FOR GENERAL CONCEPT ILLUSTRATION. ACTUAL SIZING, COLORS & PERSPECTIVE WILL VARY FROM IMAGE.



LOCATION - REAR/LEFT

LOCATION - FRONT

REMOVE & DISCARD (2) SETS 13"X 91" FOOD MART VINYL LETTERS ON WHITE ACM

REMOVE & DISCARD EXISTING ACM DOWN TO ONE EVEN PLANE

INSTALL (2) NEW SETS 26" SPEEDWAY VINYL LETTERS ON 48" WHITE ACM

INSTALL (14) SHEETS 48" WHITE ACM W/ FIELD APPLIED GRAY STRIPES & RED TOP STRIPE

EXISTING SIGNS:

LOCATION:	DESCRIPTION:	ILLUMINATION:	HEIGHT:	LENGTH:	SQ. FT.
1, 2	FOOD MART VINYL LETTERS	NON-ILLUMINATED	1'-1"	7'-7"	8.2

PROPOSED SIGNS:

LOCATION:	DESCRIPTION:	ILLUMINATION:	HEIGHT:	LENGTH:	SQ. FT.
1, 2	SPEEDWAY VINYL LETTERS	NON-ILLUMINATED	2'-2"	11'-4"	24.56



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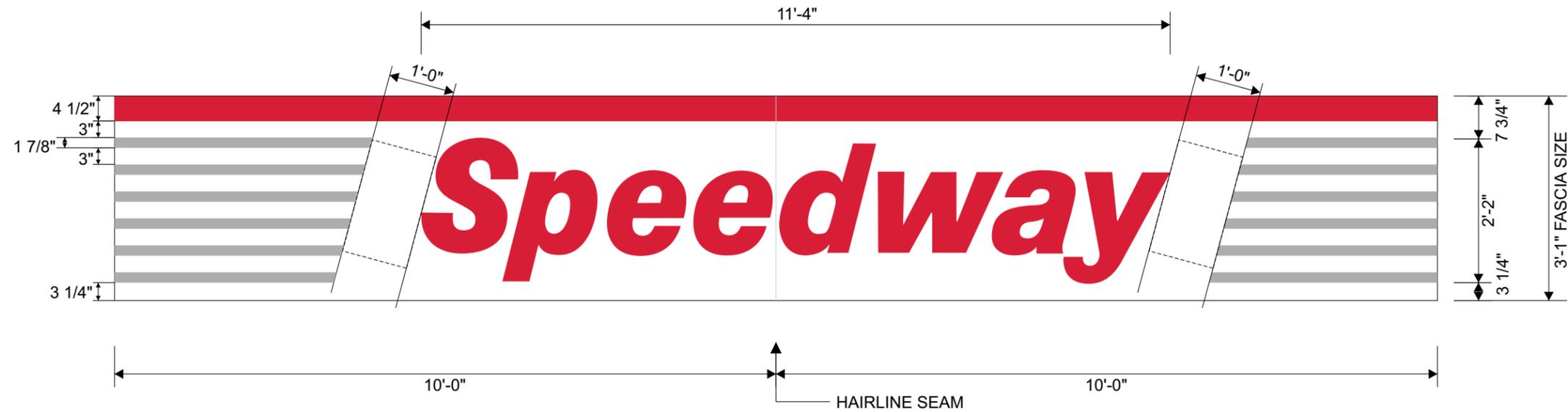
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 Sales **House** Design **ZWB** PM **JB**





VINYL LETTERS ON ACM PANELS

SCALE: 1/2" = 1'-0"

QUANTITY: 1

SPECIFICATIONS:

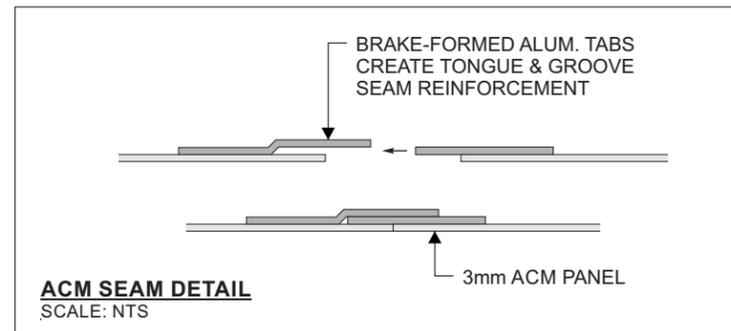
ACM: 3mm, WHITE.

VINYL LOGO/LETTERING.

COLOR SPECIFICATIONS - ACM

3M GERANIUM #7725-63 OPAQUE VINYL

PMS White



ACM SEAM DETAIL
SCALE: NTS



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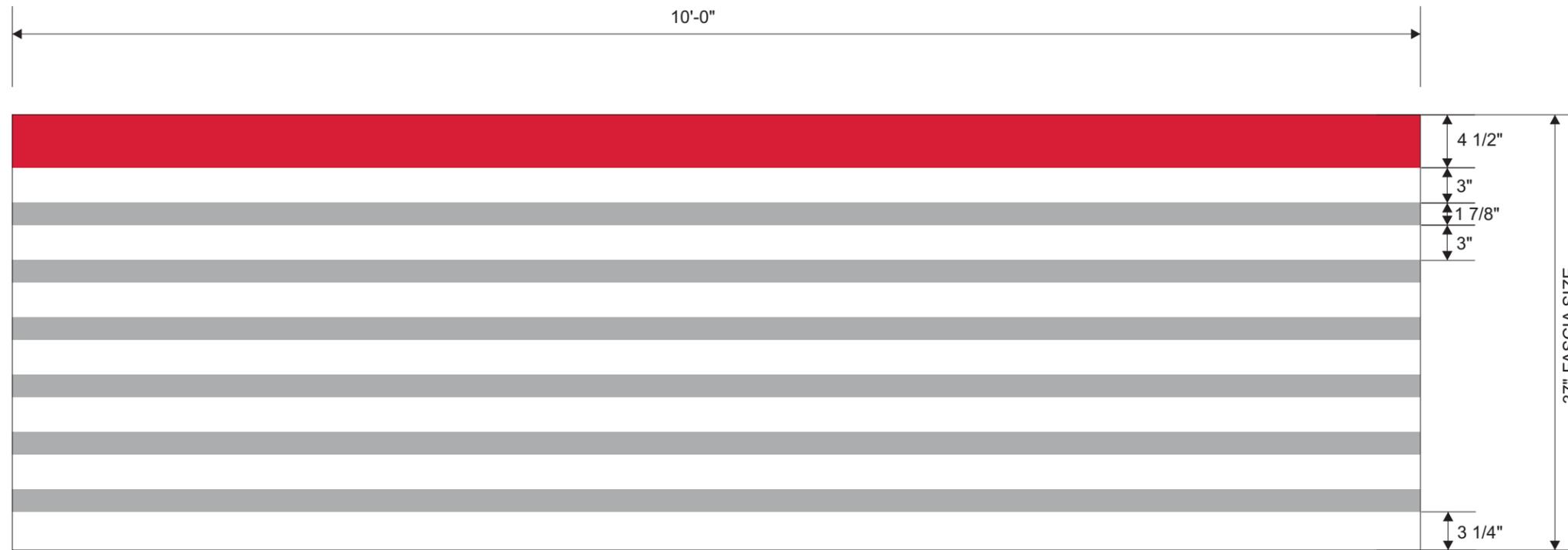
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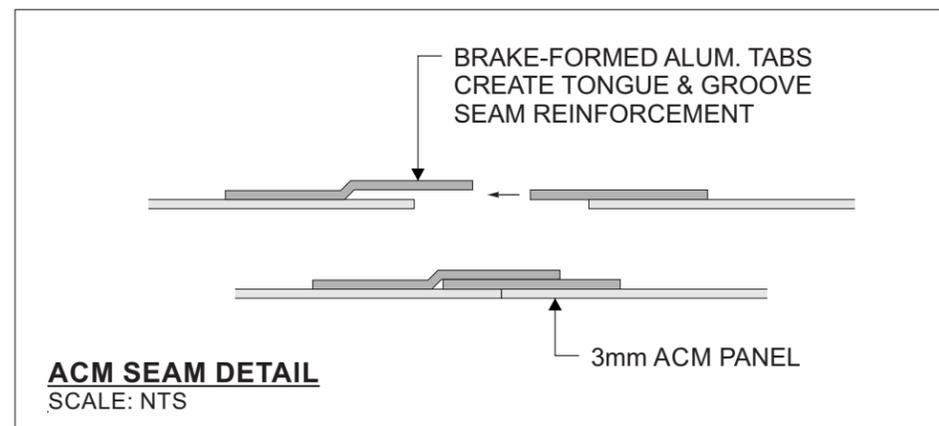




ACM PANEL LAYOUT

SCALE: 1" = 1'-0"

QUANTITY: 14



COLOR SPECIFICATIONS - ACM

- 3M GERANIUM #7725-63 OPAQUE VINYL
- GREY PMS 428C
- PMS WHITE



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EXISTING GAS CANOPY FASCIA HEIGHT: 37"
FASCIA LENGTH: 42'-0" x LENGTH: 105'-6 1/2"



PROPOSED GAS CANOPY PHOTO ELEVATION DEPICTION INTENDED FOR GENERAL CONCEPT ILLUSTRATION. ACTUAL SIZING, COLORS & PERSPECTIVE WILL VARY FROM IMAGE.



LOCATION - LEFT/FRONT

LOCATION - FRONT/RIGHT

- REMOVE & DISCARD (2) 35 1/2" X 35 1/2" SHELL BADGES ON ACM
- INSTALL (2) NEW 26" SPEEDWAY BADGES ON 48" WHITE ACM
- CONNECT TO EXISTING POWER
- INSTALL (29) SHEETS 48" WHITE ACM W/ FIELD APPLIED GRAY STRIPES & RED TOP STRIPE
- INSTALL (8) NEW LANE IDENTIFIERS & (4) DIESEL LANE IDENTIFIERS
- REMOVE & DISCARD EXISTING FIRE MARSHAL SIGNS
- REMOVE & DISCARD ALL FLEET SIGNS AND REPLACE WITH FUEL MAN SIGN
- INSTALL (4) WINDMASTER SIGNS

EXISTING SIGNS:

LOCATION:	DESCRIPTION:	ILLUMINATION:	HEIGHT:	LENGTH:	SQ. FT.
3	SHELL BADGE	ILLUMINATED	2'-11 1/2"	2'-11 1/2"	8.752
4	SHELL BADGE	ILLUMINATED	2'-11 1/2"	2'-11 1/2"	8.752

PROPOSED SIGNS:

LOCATION:	DESCRIPTION:	ILLUMINATION:	HEIGHT:	LENGTH:	SQ. FT.
3	SPEEDWAY BADGE	ILLUMINATED	2'-2"	2'-10"	6.14
4	SPEEDWAY BADGE	ILLUMINATED	2'-2"	2'-10"	6.14



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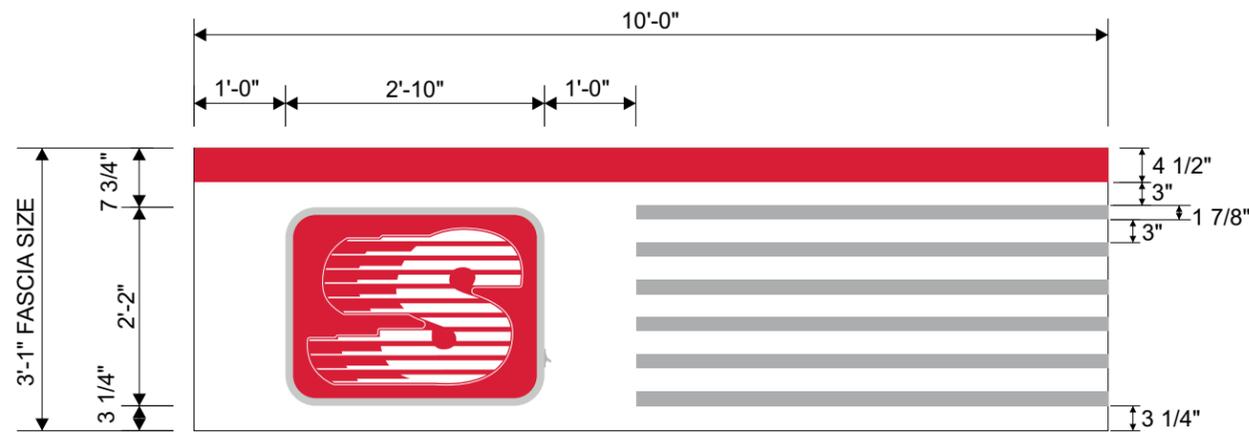
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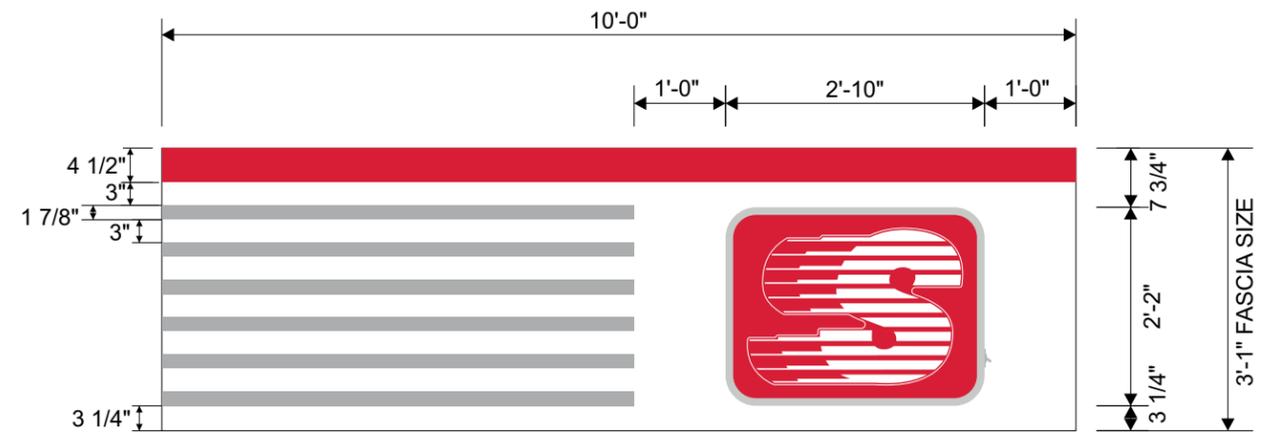
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 File **SW.9414 Salt Lake City, UT 302**
 Sales **House** Design **ZWB** PM **JB**





ACM w/ BADGE SIGN & STRIPES LAYOUT

SCALE: 1/2" = 1'-0"
 SQUARE FOOTAGE = 6.14
 QUANTITY: 1



ACM w/ BADGE SIGN & STRIPES LAYOUT

SCALE: 1/2" = 1'-0"
 SQUARE FOOTAGE = 6.14
 QUANTITY: 1

SPECIFICATIONS:

ACM: 3mm, WHITE.

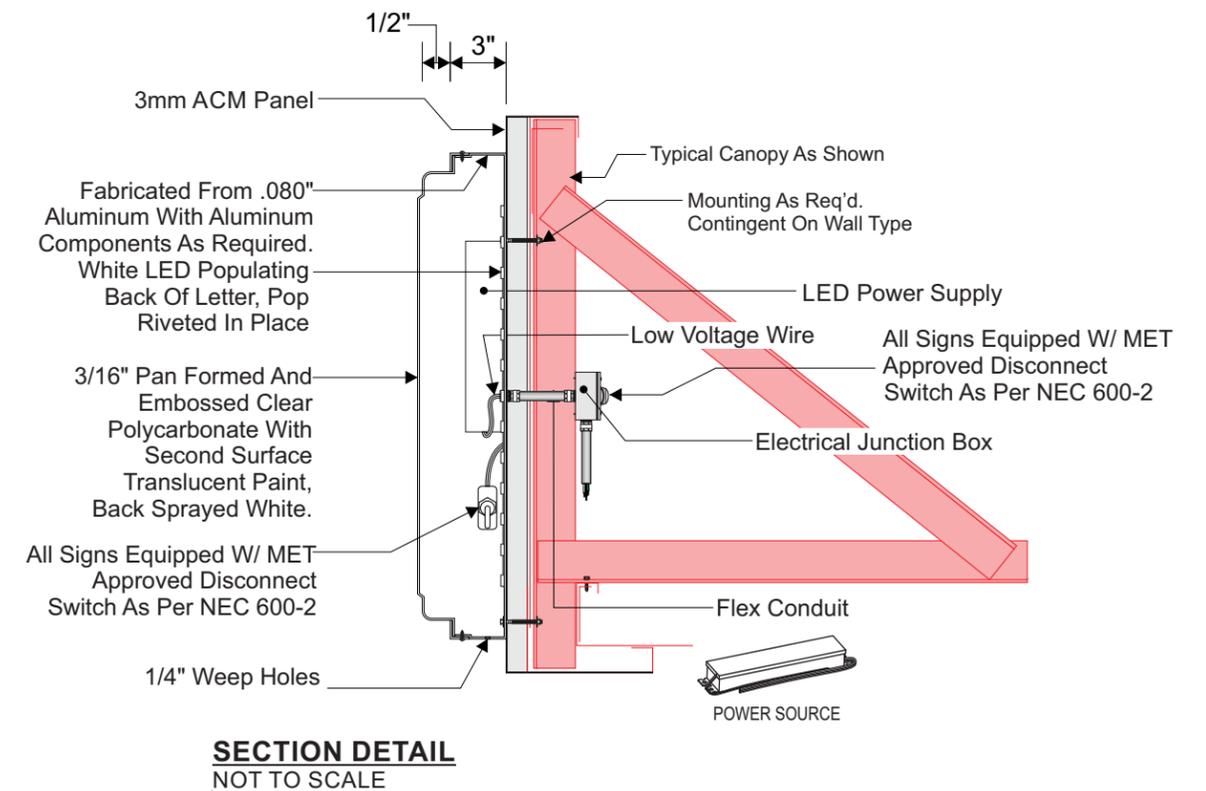
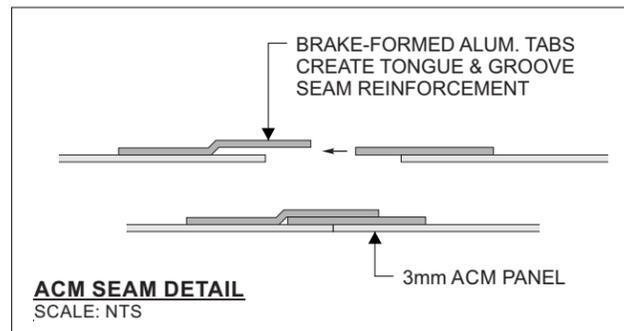
CABINET FABRICATED FROM .080" ALUMINUM W/ ALUMINUM COMPONENTS AS REQUIRED.
 ALUM. CABINET AND 1" ALUM. RETAINER PAINTED GREY.
 3/16" PAN FORMED AND EMBOSSED CLEAR POLY W/ SECOND SURFACE PAINT.
 ILLUMINATED W/ WHITE PRINCIPAL LED.
 120 VOLT 20 AMP PRIMARY ELECTRICAL CKTS.
 MECHANICAL FASTENERS AS REQUIRED.

COLOR SPECIFICATIONS - BADGE SIGN

- REGAL RED PMS 187C
- GREY PMS 428C
- PMS WHITE

COLOR SPECIFICATIONS - ACM

- 3M GERANIUM #7725-63 OPAQUE VINYL
- PMS 428C
- PMS White



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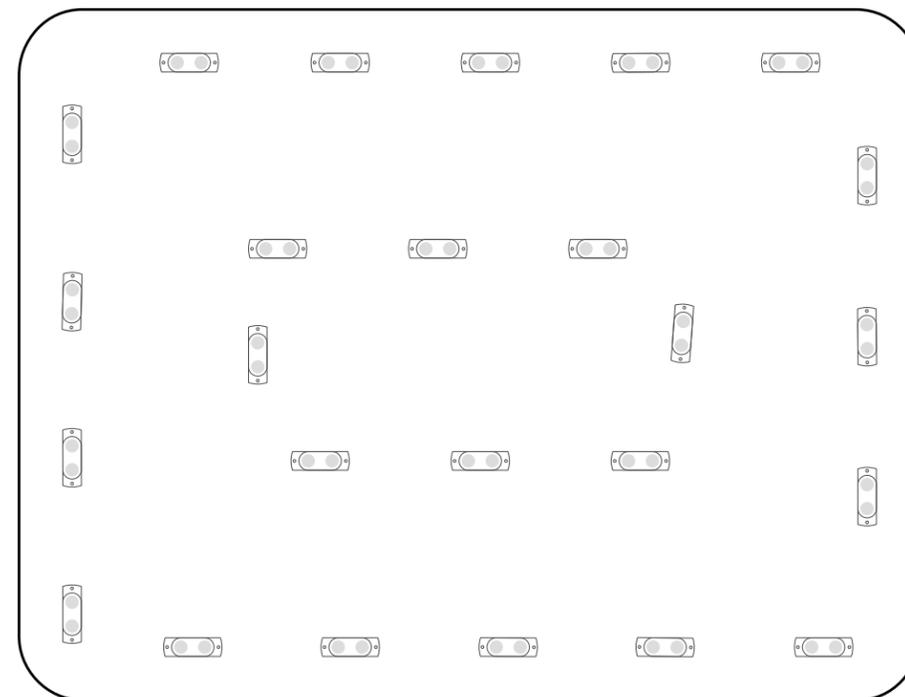
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REV.		 <p>3490 Venture Dr. San Angelo, TX 76905 Ph. 1-325-227-4577 FAX 1-325-227-6841 www.p-led.com</p>	THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL PROPERTY OF PRINCIPAL LED, LLC.. ANY REPRODUCTION OR USE WITHOUT PRIOR WRITTEN CONSENT IS PROHIBITED		
1.			TITLE		
NOTE: MAX MODS PER SERIES: 38 76 MODULES PER 60W PS SPACE ROWS @ 7" O.C.			SPEEDWAY - 55551		
			DATE 5-7-2019	DRAWN BY : JOEY	
		SIGN HEIGHT 26" X 34"	SIGN DEPTH 4.75"	FACE MATERIAL ACRYLIC	

60W



25

AMP DRAW: 1.1A

<p>ESTIMATED PRODUCT PER SIGN FACE LIT (25) TRUE WHITE QWIK MOD 2 MODULES (M-QMDX0-71) 15FT TRUE WHITE QWIK MOD 2 MODULES (1) 60W POWER SUPPLIES (P-OH060-12-PL)</p>	<p>CAUTION: THIS LAYOUT IS ONLY AN ESTIMATE. Channel letter depth, face color, material, and thickness can vary which may effect the number of modules required. To ensure accuracy, it is recommended that you test light in a darkened environment prior to installing or shipping to the site to ensure the light output is commercially acceptable. Final material estimates are the responsibility of the sign manufacturer.</p>
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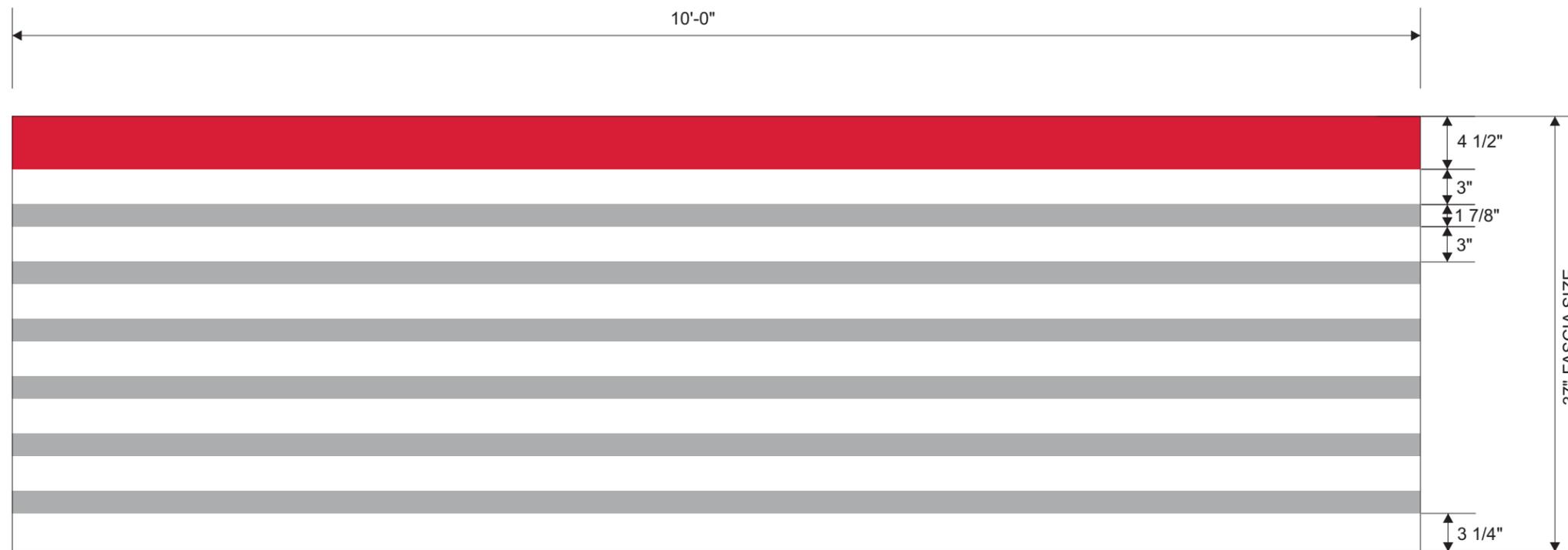
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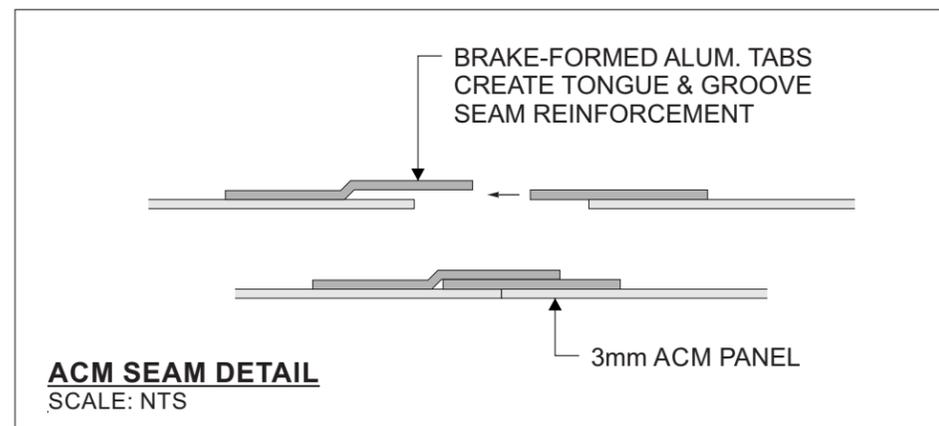




ACM PANEL LAYOUT

SCALE: 1" = 1'-0"

QUANTITY: 29



ACM SEAM DETAIL
SCALE: NTS

COLOR SPECIFICATIONS - ACM

- 3M GERANIUM #7725-63 OPAQUE VINYL
- GREY PMS 428C
- PMS WHITE



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FASCIA LENGTH: 19'-11 1/4" x LENGTH: 37'-7 1/2"



PHOTO ELEVATION DEPICTION INTENDED FOR GENERAL CONCEPT ILLUSTRATION. ACTUAL SIZING, COLORS & PERSPECTIVE WILL VARY FROM IMAGE.

PROPOSED BUILDING



LOCATION - LEFT (ENTER)

LOCATION - FRONT

LOCATION - RIGHT (EXIT)

- REMOVE & DISCARD (1) SET EXISTING 12" X 7' 2" CAR WASH VINYL LETTERS ON WHITE ACM
- REMOVE & DISCARD ALL ACM DOWN TO ONE EVEN PLANE
- INSTALL (1) NEW SET 26" SPEEDY WASH VINYL LETTERS ON 48" WHITE ACM
- INSTALL (7) SHEETS 48" WHITE ACM W/ FIELD APPLIED GRAY STRIPES & RED TOP STRIPE
- REMOVE & DISCARD (1) EXISTING 12" X 24" ENTER SIGN & (1) EXISTING 12" X 24" EXIT & (1) EXISTING 40" X 24" DO NOT ENTER SIGN
- INSTALL (1) NEW ENTER VINYL ON 12" X 24" WHITE ACM & (1) NEW EXIT VINYL ON 12" X 24" WHITE ACM (WHITE W/ RED COPY)
- INSTALL (1) NEW DO NOT ENTER VINYL ON 40" X 24" WHITE ACM (WHITE W/ RED COPY)

EXISTING SIGNS:

LOCATION:	DESCRIPTION:	ILLUMINATION:	HEIGHT:	LENGTH:	SQ. FT.
5	CAR WASH VINYL LETTERS	NON-ILLUMINATED	1'-0"	7'-2"	7.16
6	CAR WASH ENTER VINYL LETTERS	NON-ILLUMINATED	1'-0"	2'-0"	2
7	CAR WASH DO NOT ENTER VINYL LETTERS	NON-ILLUMINATED	3'-4"	2'-0"	8
8	CAR WASH EXIT VINYL LETTERS	NON-ILLUMINATED	1'-0"	2'-0"	2

PROPOSED SIGNS:

LOCATION:	DESCRIPTION:	ILLUMINATION:	HEIGHT:	LENGTH:	SQ. FT.
5	SPEEDY WASH VINYL LETTERS	NON-ILLUMINATED	2'-2"	14'-3 7/8"	31.00
6	SPEEDY WASH ENTER VINYL LETTERS	NON-ILLUMINATED	1'-0"	2'-0"	2
7	SPEEDY WASH DO NOT ENTER VINYL LETTERS	NON-ILLUMINATED	3'-4"	2'-0"	8
8	SPEEDY WASH EXIT VINYL LETTERS	NON-ILLUMINATED	1'-0"	2'-0"	2



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 Title _____ Date _____

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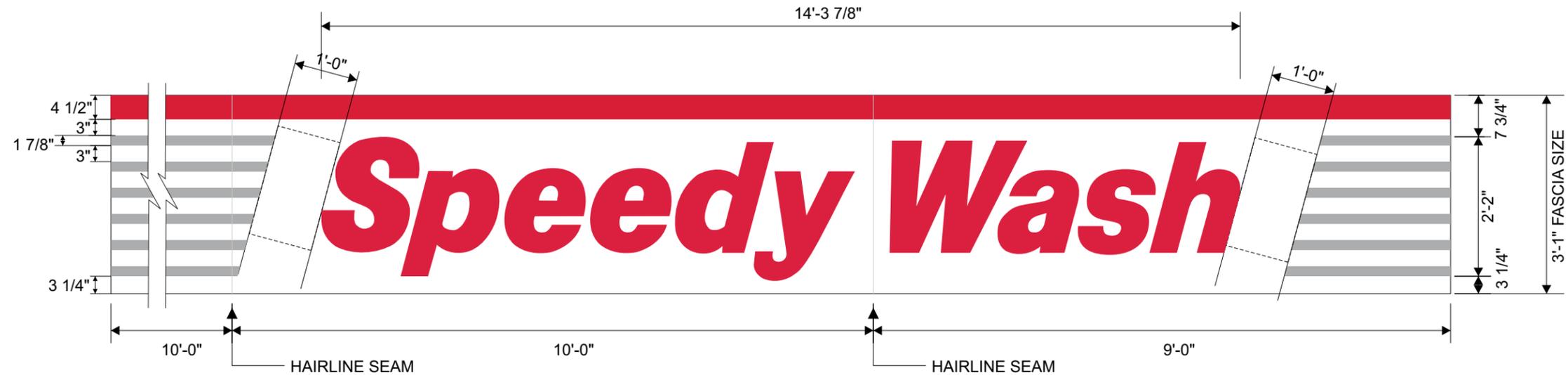
Date / Description

05/02/19	Issue Date
05/08/19	Added Enter/Exit/Do Not Enter AMS
05/10/19	pgs 2, 8, 10 - ZWB
-	3 -
-	4 -

Project Information

Client **Speedway #9414 - Legacy #62092**
1344 East Fort Union Boulevard
Salt Lake City, UT 84047
 File **SW.9414 Salt Lake City, UT 302**
 Sales **House** Design **ZWB** PM **JB**





VINYL LETTERS ON ACM PANELS WITH STRIPES

SCALE: 1/2" = 1'-0"

SQUARE FOOTAGE = 31.00

QUANTITY: 1

SPECIFICATIONS:

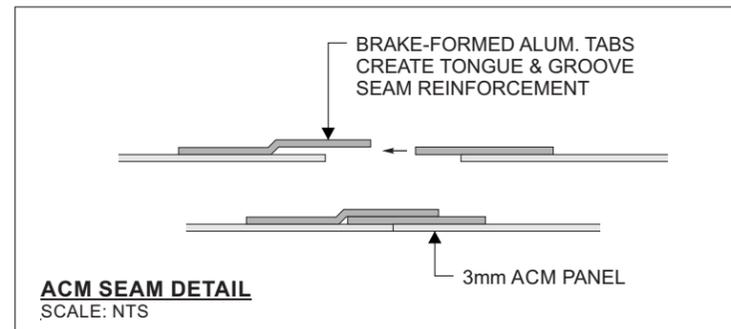
ACM: 3mm, WHITE.

VINYL LOGO/LETTERING.

COLOR SPECIFICATIONS - ACM

3M GERANIUM #7725-63 OPAQUE VINYL

PMS White



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Sales	House Design ZWB PM JB

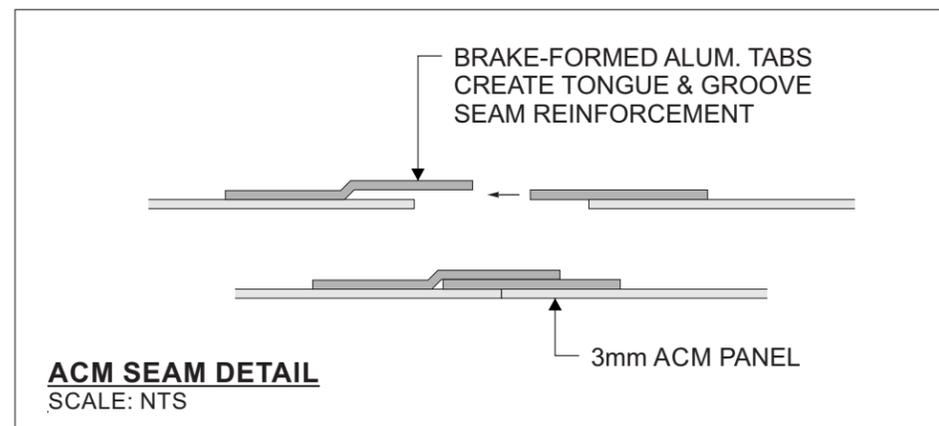




ACM PANEL LAYOUT

SCALE: 1" = 1'-0"

QUANTITY: 7



ACM SEAM DETAIL
SCALE: NTS

COLOR SPECIFICATIONS - ACM

- 3M GERANIUM #7725-63 OPAQUE VINYL
- GREY PMS 428C
- PMS WHITE



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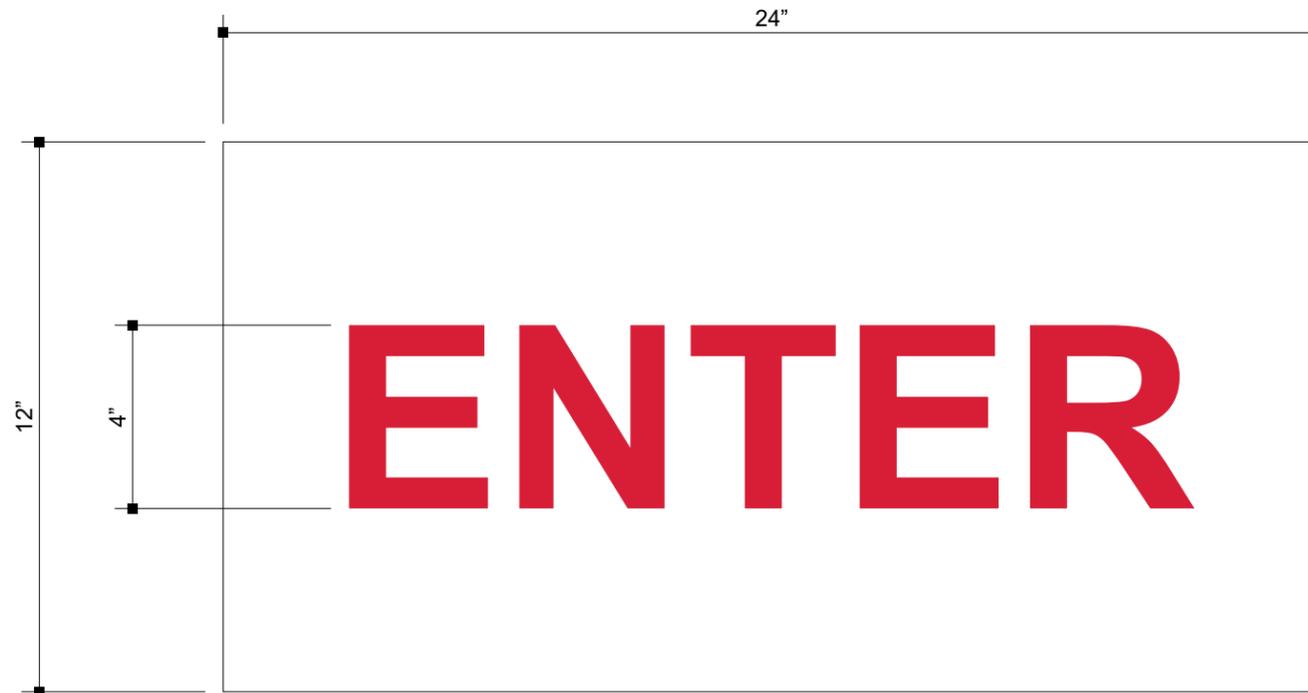
Date / Description

Date	Description
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05/10/19	pgs 2, 8, 10 - ZWB
-	3 -
-	4 -

Project Information

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	1344 East Fort Union Boulevard
	Salt Lake City, UT 84047
File	SW.9414 Salt Lake City, UT 302
Sales	House Design ZWB PM JB





VINYL LETTERS ON ACM PANEL

Scale: 3/4" = 1'-0"

SQUARE FOOTAGE = **2**

QUANTITY: **1**

SPECIFICATIONS:

ACM: 3mm, WHITE.

VINYL LOGO/LETTERING.

COLOR SPECIFICATIONS - ACM

- 3M GERANIUM #7725-63 OPAQUE VINYL
- PMS White



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-	4 -

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	Salt Lake City, UT 84047
File	SW.9414 Salt Lake City, UT 302
Sales	House Design ZWB PM JB





VINYL LETTERS ON ACM PANEL

Scale: 3/4" = 1'-0"

SQUARE FOOTAGE = **2**
QUANTITY: **1**

SPECIFICATIONS:

ACM: 3mm, WHITE.

VINYL LOGO/LETTERING.

COLOR SPECIFICATIONS - ACM

- 3M GERANIUM #7725-63 OPAQUE VINYL
- PMS White



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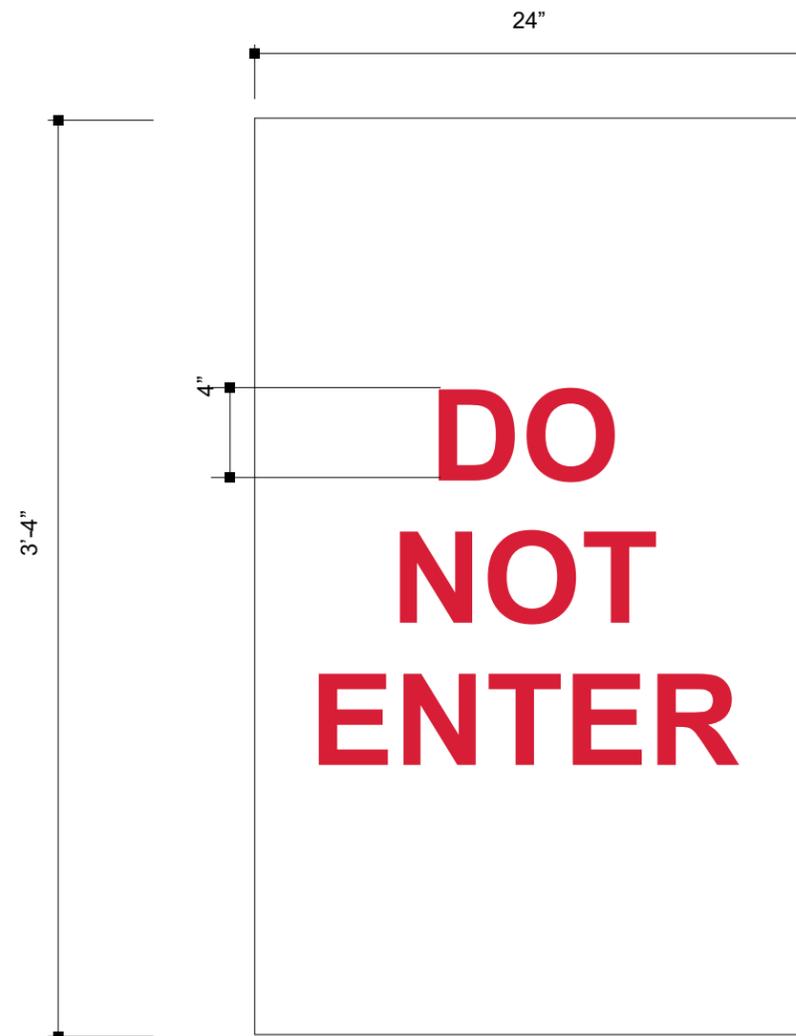
Date / Description

Date	Description
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Project Information

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	1344 East Fort Union Boulevard
	Salt Lake City, UT 84047
File	SW.9414 Salt Lake City, UT 302
Sales	House Design ZWB PM JB





SPECIFICATIONS:

ACM: 3mm, WHITE.

VINYL LOGO/LETTERING.

COLOR SPECIFICATIONS - ACM

3M GERANIUM #7725-63 OPAQUE VINYL

PMS White

VINYL LETTERS ON ACM PANEL

Scale: 1 1/2" = 1'-0"

SQUARE FOOTAGE = 6

QUANTITY: 1



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REMOVE EXISTING DISPENSER VALANCE

REMOVE EXISTING DISPENSER DOORS

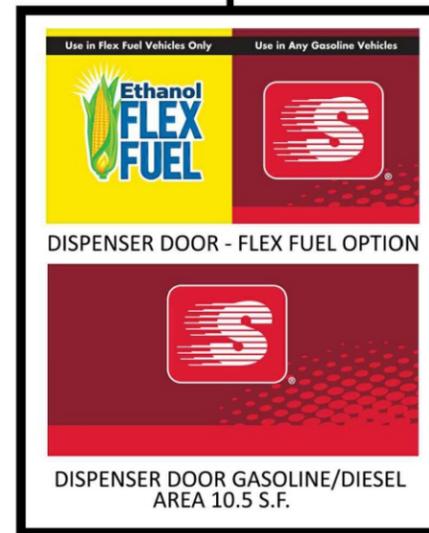


EXISTING - GASOLINE PUMP



EXISTING - DIESEL PUMP

FUEL DISPENSER GRAPHICS
NOT TO SCALE



NOTE:
PROPOSED IMAGE IS FOR GRAPHIC CHANGE ONLY
EXISTING DISPENSERS TO REMAIN

NOTE: PROPOSED DISPENSER GRAPHIC SQUARE FOOTAGE TO MATCH EXISTING.

PROPOSED



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EXISTING PYLON



PROPOSED PYLON



24' 6" OAH

SIZE OF STEEL: 8" X 8"
NEW CABINET DEPTH: 8"

REMOVE & DISCARD ALL EXISTING CABINETS

INSTALL NEW SPEEDWAY "S" CABINET
CABINET: 72" X 72"

INSTALL NEW SPEEDWAY DUAL UNL/ DSL PRICER FACES W/ LED
CABINET: 48" X 72"

INSTALL NEW SPEEDY WASH CABINET
CABINET: 24" X 72"

PHOTO ELEVATION DEPICTION INTENDED FOR GENERAL CONCEPT ILLUSTRATION. ACTUAL SIZING, COLORS & PERSPECTIVE WILL VARY FROM IMAGE.



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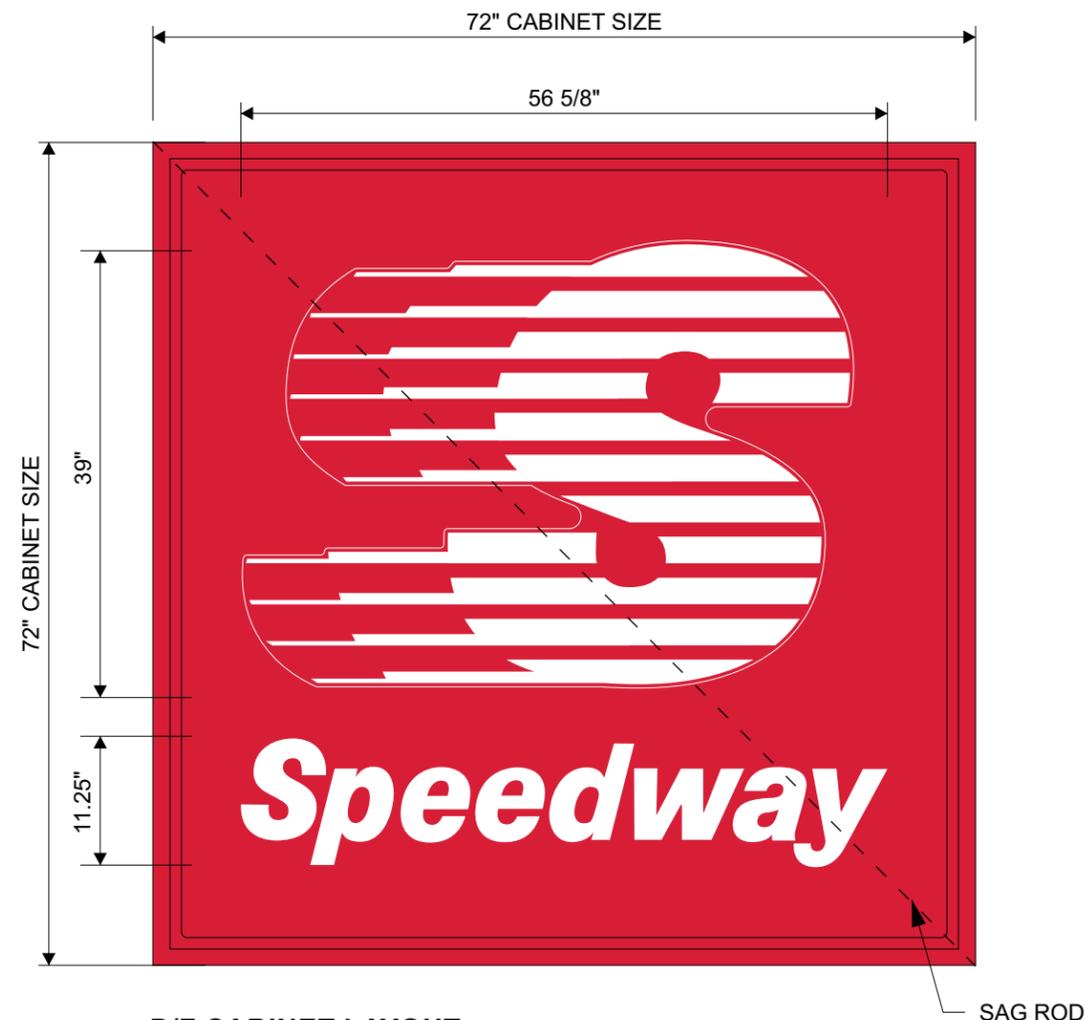
Date / Description

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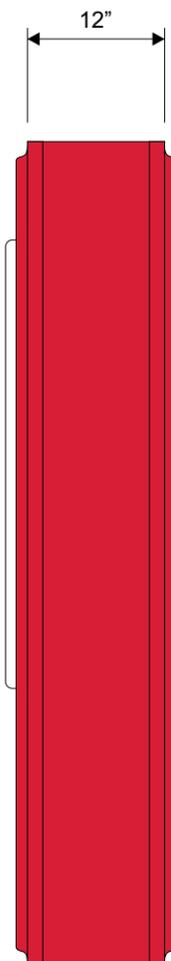
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D/F CABINET LAYOUT

SCALE: 3/4" = 1'-0"
 SQUARE FOOTAGE = **36.00**
 QUANTITY: 1



SIDE VIEW

SCALE: 3/4" = 1'-0"

REMOVE & DISCARD ALL EXISTING CABINETS

INSTALL NEW SPEEDWAY "S" CABINET
 CABINET: 72" X 72"

CABINET SPECIFICATIONS:

ALL ALUMINUM CONSTRUCTION WITH INTERNAL BRACING AS NECESSARY.

SPEEDWAY & PRICER CABINETS TO FOLLOW SPEEDWAY STANDARD BUILD AND STANDARD COLORS.

CABINETS ARE LED ILLUMINATED.

MAIN ID SPECIFICATIONS:

.187" CLEAR POLYCARBONATE FACE.

1-1/2" DEEP PAN-FORMED W/ 1-1/4" DEEP EMBOSSED LOGO.

"SPEEDWAY" COPY IS FLAT.

ALL DECORATION ON 2nd SURFACE.

LOGO AND COPY TO BE WHITE.

BACKGROUND TO BE RED TRANSLUCENT PAINT,

COPY AND LOGO WEEDED OUT & BACK SPRAYED WHITE.

COLOR GUIDE

	WHITE
	RED 3M 3630-83



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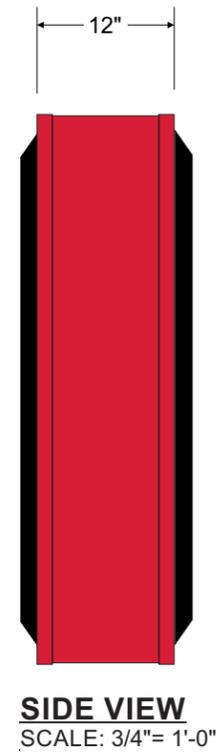
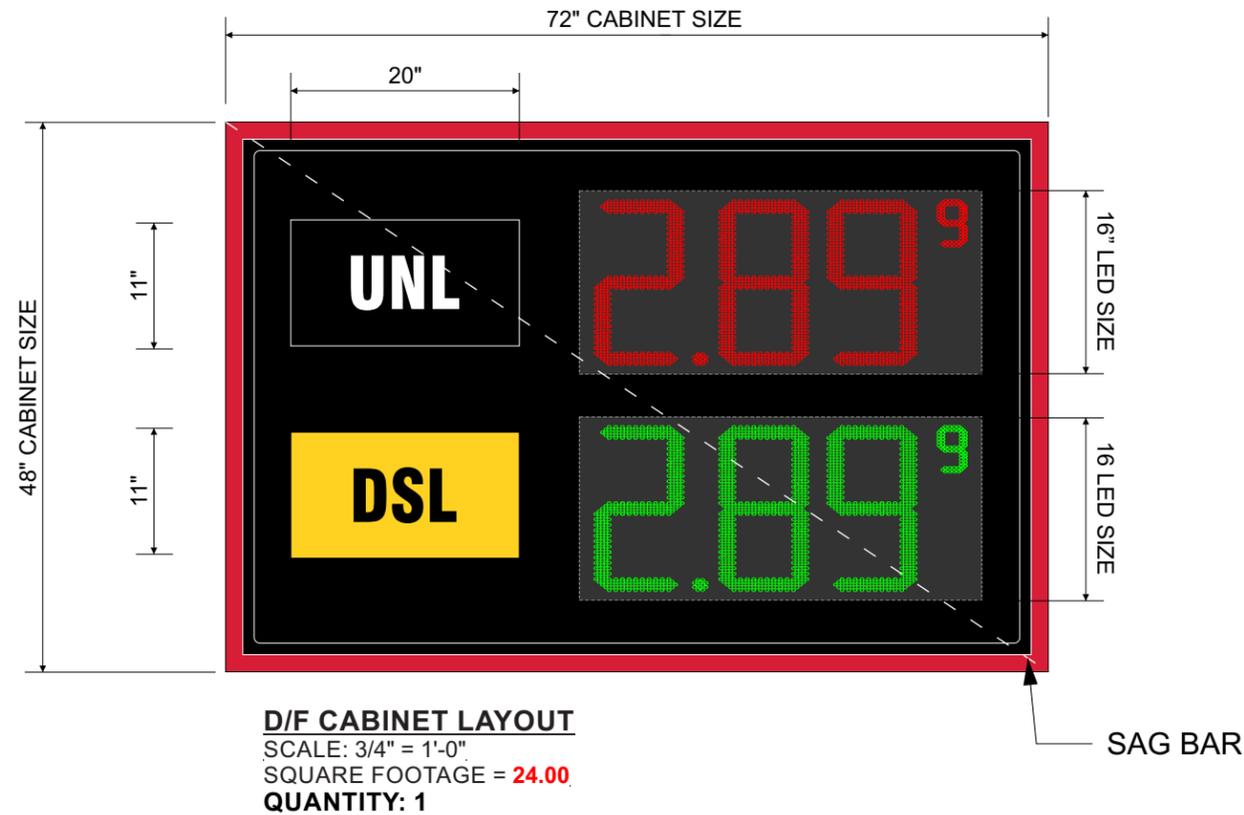
Date / Description

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File	SW.9414 Salt Lake City, UT 302
Sales	House Design ZWB PM JB





REMOVE & DISCARD ALL EXISTING CABINETS

INSTALL NEW SPEEDWAY DUAL UNL/ DSL PRICER FACES W/ LED
CABINET: 48" X 72"

INSTALL NEW SPEEDY WASH CABINET
CABINET: 24" X 72"

CABINET SPECIFICATIONS:

ALL ALUMINUM CONSTRUCTION WITH INTERNAL BRACING AS NECESSARY.

SPEEDWAY & PRICER CABINETS TO FOLLOW SPEEDWAY STANDARD BUILD AND STANDARD COLORS.

CABINETS ARE LED ILLUMINATED.

PRICER FACE W/ PLACARD SPECIFICATIONS:

.187" CLEAR POLYCARBONATE FACE.

1-1/2" DEEP PAN-FORMED.

ELECTRONIC PRICERS INSTALLED INTO FACES.

FONT STYLE IS SWISS BLACK CONDENSED.

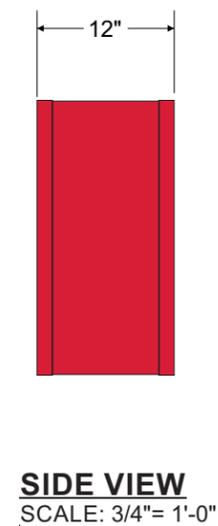
CLEAR, .118" POLYCARB. PANEL, FLAT.

DECORATION ON 2ND SURFACE WITH WINDOWS TO ALLOW FOR ILLUMINATION OF COPY PANELS.

"UNLEADED" COPY TO BE WHITE, PANEL TO BE BLACK.

"DIESEL" COPY TO BE YELLOW, PANEL TO BE BLACK.

WINDOWS TO BE WEEDED OUT & BACK SPRAYED WHITE.



SPEEDY WASH FACE SPECIFICATIONS:

.187" CLEAR POLYCARBONATE FLAT FACE.

ALL DECORATION ON 2ND SURFACE.

COPY TO BE RED.

BACKGROUND TO BE WHITE TRANSLUCENT PAINT,

COPY WEEDED OUT & BACK SPRAYED WHITE.

COLOR GUIDE	
	YELLOW 3M 7725-15 (PMS 109C)
	WHITE
	BLACK
	PANTONE 199 C



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MEMO

To: Architectural Review Commission
From: Andy Hulka, Associate Planner
Date: June 27, 2019
Subject: SPL-19-003 – 6890 S. Highland Dr. – KFC



BACKGROUND

On March 27, 2019, the ARC approved a Certificate of Design Compliance for new signs and awnings at the KFC located at 6890 S. Highland Dr. The Certificate of Design Compliance was approved with the following conditions:

1. The awnings must have an 8-foot clearance above the walkway;
2. The signage above the entrance must encompass the doors and continue to the base as a single element;
3. Painted wall signs are approved as proposed;
4. This approval is for signage and awnings only. Full approval of all exterior modifications is subject to further review by the ARC.

Although the approval was specific to the signs and awnings only, ARC members made several informal suggestions about the overall project during the meeting. Some of the informal comments made included:

- The white/red color scheme is preferred to the tan/brown color scheme.
- No gooseneck lights above the roof (with a possible exception for gooseneck lights above the tower sign area).
- Revise the design to remove the handrail from the front entrance.

The ARC met to discuss this project again on May 30, 2019. The applicant was not in attendance at the meeting, but the commissioners present made a few additional informal comments about the project:

- Original color scheme preferred (using natural brown/tan/white colors).
- The entrance could potentially remain red with the sign as proposed.
- Redesign the entrance to be more pedestrian friendly (i.e. redesign the ramp/guardrail leading to the main entrance).
- Incorporate river rock material similar to the surrounding properties.

The applicant has submitted a revised design based on the previous comments from the commission. The revised plans do not address the comments about redesigning the entrance or

incorporating river rock material. The applicant submitted the following response with the revised plans:

“Harman’s Management does not want to remove the guard rail, they would have to completely redo and build up the front of the store. They can’t consider that because it would eliminate the HC parking in front. We would like to see if the tan color scheme is enough without adding stone.”

REQUEST

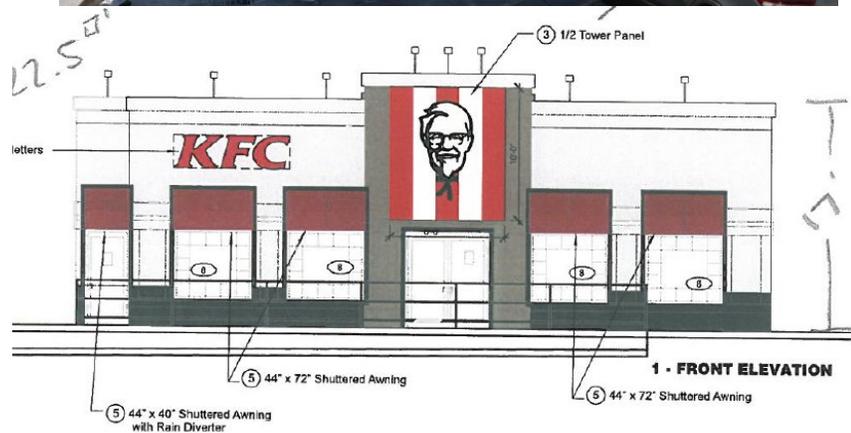
The applicant has submitted revised exterior plans that address some of the conditions and recommendations from the March and May 2019 ARC meetings. The revised plans include changes to the previous approval as well as new exterior details that require a Certificate of Design Compliance from the ARC.

Front Elevation (East)

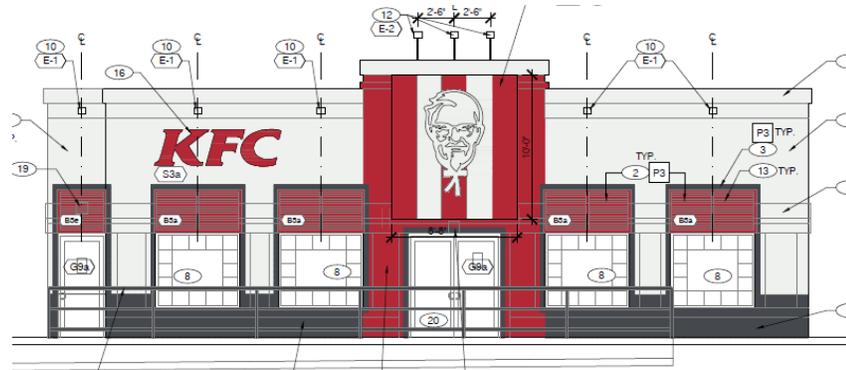
Existing



March 2019 Proposal



May 2019 Proposal



June 2019 Proposal



The March 2019 ARC approval required the signage above the entrance to encompass the doors and continue to the base as a single element. The revised plans have retained the half panel entry sign. The applicant sent the following explanation for their inability to meet the ARC's initial condition of approval:

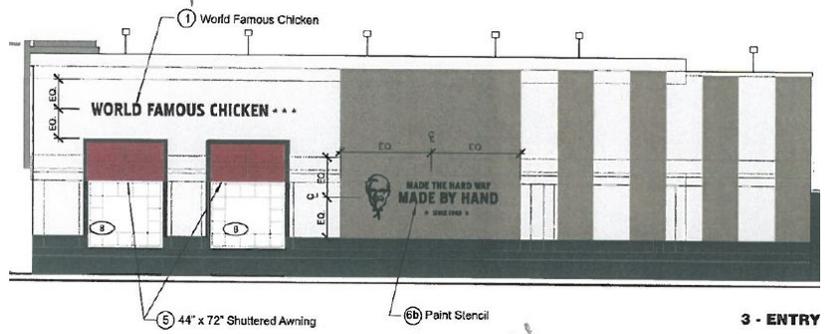
"We cannot conform to the architectural review attached which requests we put a full panel at this location. The full panel would cover our ADA entrance which is not in compliance with ADA standards. We cannot put any panels down the sides of the doors as this would not be approved under the National branding standards of KFC. Please find attached picture of a KFC Corporate approved half tower panel."

The gooseneck lights above the main entrance were kept for the new design and the other gooseneck lights have been replaced with new exterior light fixtures that do not extend above the roof. No changes have been proposed to remove the guardrail or otherwise redesign the front entry.

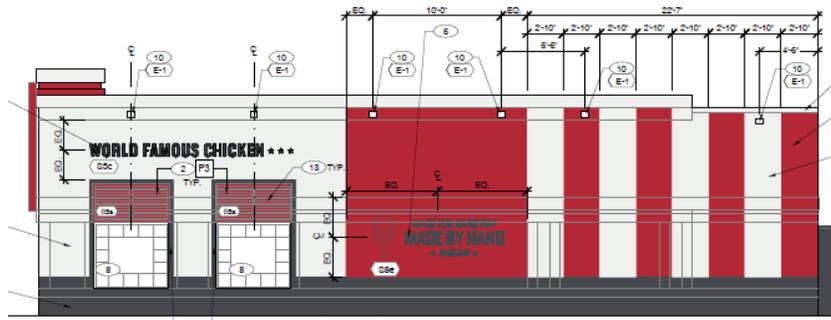
Side Elevation (North)
Existing



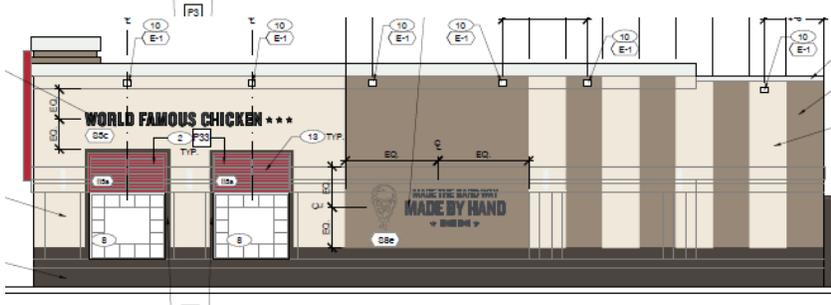
March 2019 Proposal



May 2019 Proposal



June 2019 Proposal



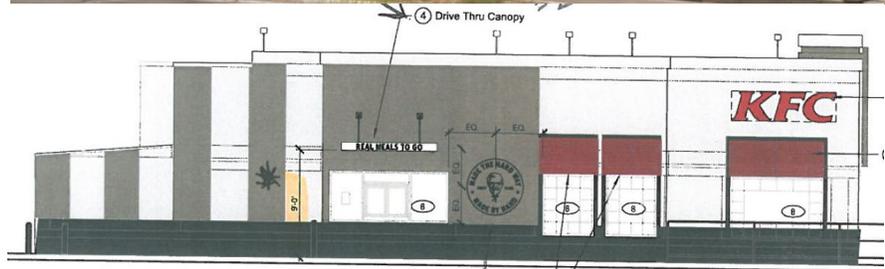
The revised plans on the north side include new exterior light fixtures that do not extend above the roof and a tan/brown paint color scheme.

Side Elevation (South, Drive-Thru)

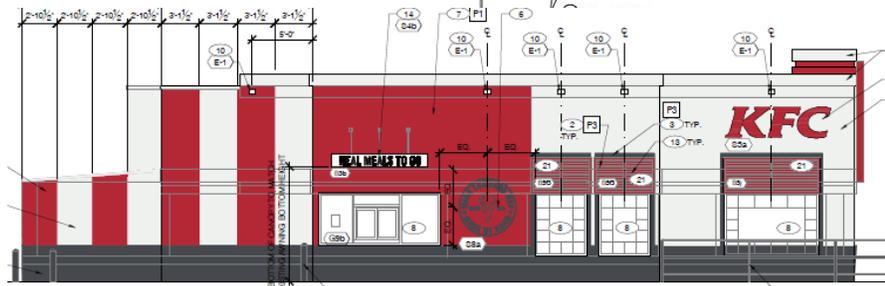
Existing



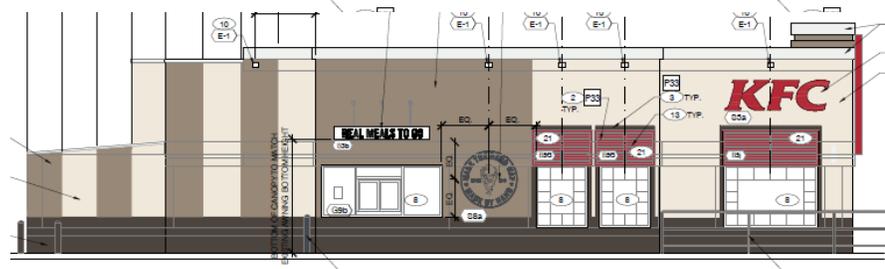
March 2019 Proposal



May 2019 Proposal



June 2019 Proposal

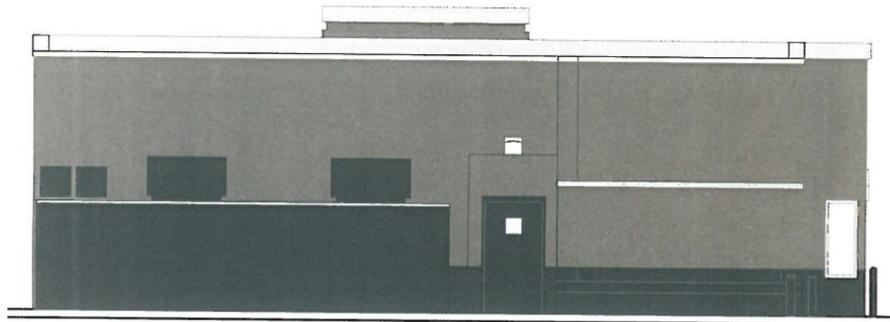


The south side has also been revised to include new exterior light fixtures that do not extend above the roof and a brown/tan paint color scheme.

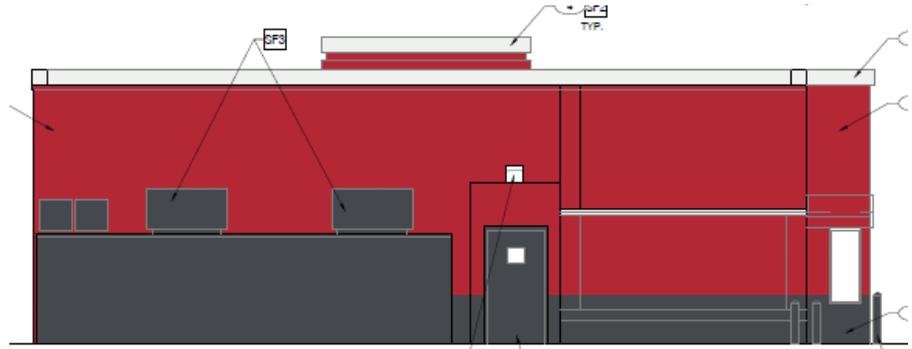
Rear Elevation (West)
Existing



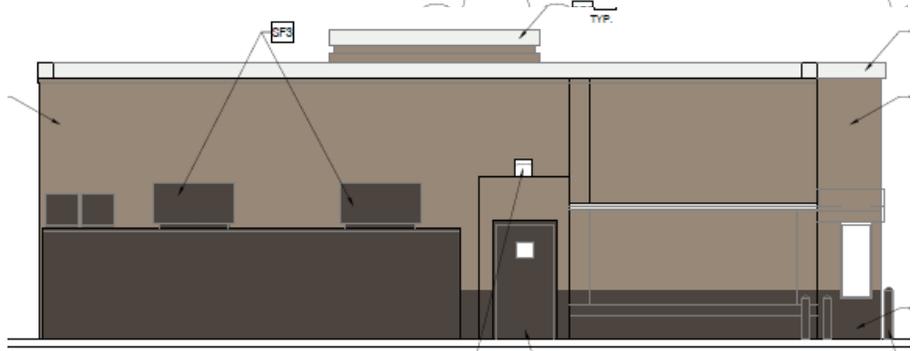
March 2019 Proposal



May 2019 Proposal



June 2019 Proposal



The west wall is now proposed to be painted almost entirely brown.

ARCHITECTURAL REVIEW COMMISSION AUTHORITY

The ARC is required to review new signs and exterior changes for compliance with applicable design guidelines and compatibility with surrounding properties, as required by section 19.49.060 of the zoning ordinance:

19.49.060 Gateway Overlay District.

C. Certificate of design compliance. A certificate of design compliance issued by the ARC shall be required before proceeding with any new development or changes to existing development in a Gateway Overlay District. No alteration of the existing condition of land, structures, signs, landscaping or lighting, including, without limitation, demolition of any structure, application of new exterior siding material, creation of a new window or dormer, creation of a driveway or parking facility, construction of a deck, fence or garage, or enclosure of a porch shall be permitted within the Gateway Overlay District except as provided in this chapter.

D. General review criteria. The ARC must determine that the following general review criteria are met before issuing a certificate of design compliance for a project:

- 1. The proposed work must comply with the applicable design guidelines for that overlay district;*
- 2. The integrity of an individual historic structure is preserved, if applicable;*
- 3. The design of new buildings or additions must be compatible with surrounding gateway properties; and,*
- 4. The overall character of the Gateway Overlay District is protected.*

DESIGN GUIDELINES

Staff recommends that the ARC review the revised plans to determine whether the proposed design is in harmony with applicable design guidelines. Some of the applicable sign guidelines include:

Entrances

- Entrances should be easily identifiable and evoke a sense of entry. (p. 1, #1)
- To make entrances stand out, implement at least two articulation techniques, such as: clerestories, oversized doors, windows flanking doors, ornamental lighting, decorative stone/masonry, a pedestrian area with seating, public art, or landscaping. (p.1, #6)

National Franchise/Big-Box Stores

- Prototypical signage and architecture of big-box stores is discouraged. (p. 5, #1)
- Architecture of franchise stores must be revised if the proposed design is not in conformance with these design guidelines. (p. 5, #3)

Compatibility with Surroundings

- In multiple-building developments, similar materials and colors should be used and specified. (p. 6, #3)

Elements and Articulation

- Buildings should include a recognizable base and top.
 - Base: Heavy material, thicker walls, vegetation (e.g. raised planters), human-scale elements.
 - Top: Medium/light materials, cornice and/or parapet treatment on flat roofs, eaves and/or brackets on sloped roofs.

Building Materials

- Heavy materials should be located below medium and light materials, and medium materials should be located below light materials. (p. 12, #1)
- At least 30% of each exterior wall (excluding gables, windows, doors, trim, etc.) should be made up of heavy materials, with the balance being composed of medium and/or light materials. (p. 12, #2)

Building Color

- Colors should be used to tie the entire site together, and should complement the surrounding developments and natural environment. (p. 13, #1)
- Avoid the use of bright, vivid colors, as they can create the perception of poor design and low quality. (p. 13, #3)
- Use earth tones and natural colors that complement each other. (p. 13, #2)

Building Orientation

- Orient buildings to be pedestrian-friendly in terms of safety and aesthetically pleasing site design. (p. 15, #4)

ADJACENT DEVELOPMENT

The subject property is adjacent to the commercial development that includes Bluelemon and Whole Foods. This development was designed with a brown/tan color scheme and a stone base on each of the columns.





OTHER EXAMPLES

Another KFC in the Riverton area on 12300 South was designed with similar features to the proposal, but with a brick base.



RECOMMENDATION

Staff recommends that the ARC review the application for compliance with the applicable design guidelines outlined in this report and make recommendations for a revised design. Specifically, that the design of this site should be unique to this location, not simply the standard franchise design. Commissioners should consider making recommendations on the colors and materials to ensure compatibility with the surrounding development and recommendations on how the entryway could be improved to be more pedestrian friendly. Prior to the issuance of any permit for building and/or site work, staff will review final plan submittals for compliance with applicable city ordinances.

MODEL MOTIONS

Approval

I move to issue a Certificate of Design Compliance for project SPL-19-003 subject to all recommended conditions of approval outlined in the staff report dated May 30, 2019.

- Add any additional conditions of approval...

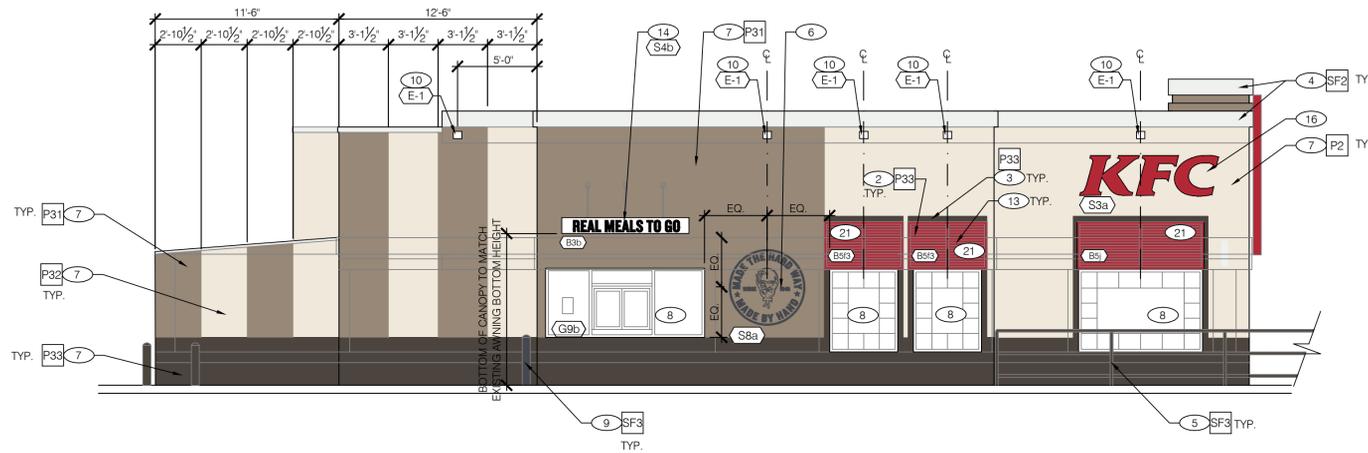
Denial

I move to deny a Certificate of Design for project SPL-19-003 based on the following findings:

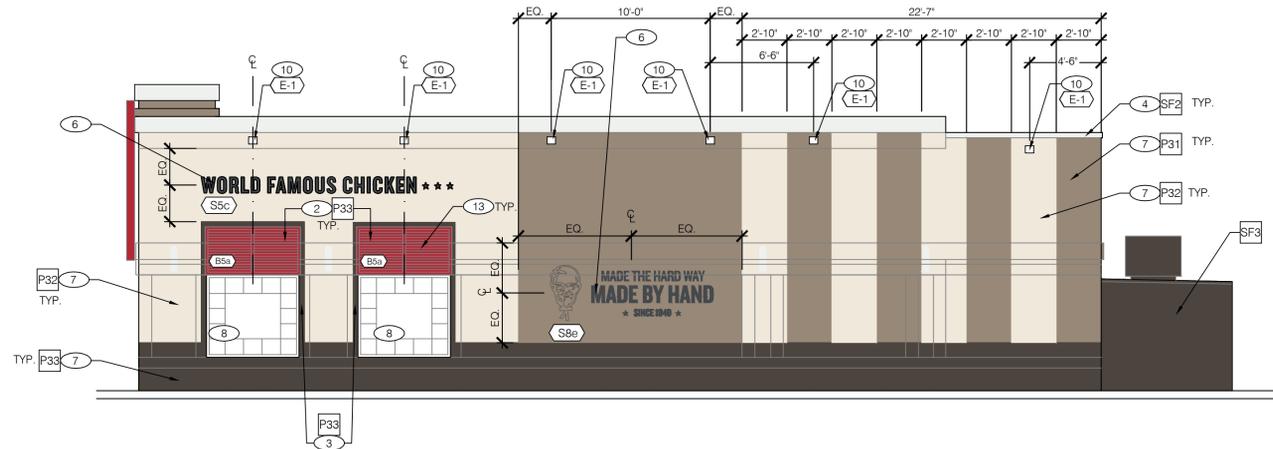
- List reasons for denial...

GENERAL NOTES

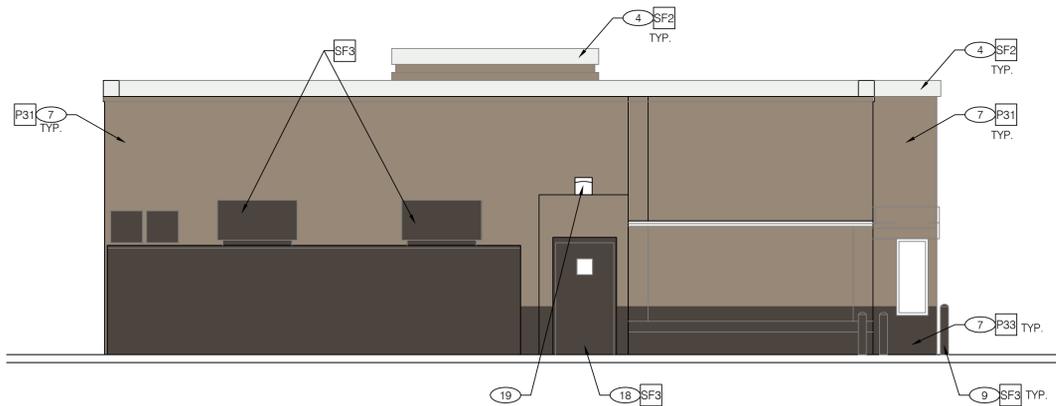
- A. G.C. TO PROVIDE VERIFICATION OF EXISTING STRUCTURAL ATTACHMENTS FOR NEW BUILDING ELEMENTS. IF REQUIRED PROVIDE ADDITIONAL BLOCKING PER VENDORS RECOMMENDATION.
- B. ALL SIGNAGE, GRAPHICS, AND AWNINGS ARE SHOWN AS A DESIRED BEST CASE LAYOUT. A FINAL SIGNAGE SUBMITTAL SHALL BE DEVELOPED BY THE SIGNAGE VENDOR AND PERMITTED BY THE SIGN VENDOR UNDER A SEPARATE PERMIT FROM THE BUILDING PERMIT.



4 - DRIVE-THRU ELEVATION
Scale: 3/16" = 1'-0"



3 - ENTRY ELEVATION
Scale: 3/16" = 1'-0"



2 - REAR ELEVATION
Scale: 3/16" = 1'-0"



1 - FRONT ELEVATION
Scale: 3/16" = 1'-0"

FINISH SCHEDULE

MARK	LOCATION	MFG / CONTACT	MODEL #/COLOR	REMARKS
P31	EXTERIOR PAINT	BENJAMIN MOORE KURT MCLELLAND P. (800)635-5147 C. (502)640-1608 kurt.mcclelland@benjaminmoore.com	AURA EXTERIOR PAINT BENJAMIN MOORE BM1007 LOW LUSTER (834)	MASONRY SUBSTRATE PRIMER K068 GLAZED TILE ACRYLIC FIBERGLASS SUBSTRATE PRIMER INS-X STIX-5X4-110
P32	EXTERIOR PAINT	SHERWIN WILLIAMS CHARLES JENNISON P. (440)845-4335 www.sherwinwilliams.com	COLOR: CREAMY COOE SW #7012 100% ACRYLIC HYBRID RESIN	MASONRY SUBSTRATE PRIMER K068 GLAZED TILE ACRYLIC FIBERGLASS SUBSTRATE PRIMER INS-X STIX-5X4-110
P33	EXTERIOR PAINT	BENJAMIN MOORE KURT MCLELLAND P. (800)635-5147 C. (502)640-1608 kurt.mcclelland@benjaminmoore.com	AURA EXTERIOR PAINT 2134-10 NIGHT HORIZON LOW LUSTER (834)	MASONRY SUBSTRATE PRIMER K068 GLAZED TILE ACRYLIC FIBERGLASS SUBSTRATE PRIMER INS-X STIX-5X4-110
SF2	EXTERIOR METAL	BENJAMIN MOORE KURT MCLELLAND P. (800)635-5147 C. (502)640-1608 kurt.mcclelland@benjaminmoore.com	COROTECH POLYESTER URETHANE 2155-70 WEDDING VEIL (V520)	COROTECH PRIMER (V130)
SF3	EXTERIOR METAL	BENJAMIN MOORE KURT MCLELLAND P. (800)635-5147 C. (502)640-1608 kurt.mcclelland@benjaminmoore.com	COROTECH POLYESTER URETHANE 2134-10 NIGHT HORIZON (V520)	COROTECH PRIMER (V130)
SF7	EXTERIOR METAL	BENJAMIN MOORE KURT MCLELLAND P. (800)635-5147 C. (502)640-1608 kurt.mcclelland@benjaminmoore.com	COROTECH POLYESTER URETHANE 2086-10 EXOTIC RED (V520)	COROTECH PRIMER (V130)

FINISH NOTES

- 1 NEW M2 EXTERIOR LIGHT SCONCES (INSTALLED ABOVE EXISTING CEILING @ EXISTING LOCATIONS) ELECTRICAL CONTRACTOR TO VERIFY CAPACITY ON EXISTING CIRCUITS FOR LIGHTS
- 2 PAINT WALL SURFACE BEHIND NEW AWNINGS
- 3 PAINT 4" WIDE BORDER WINDOW SURROUND AS INDICATED
- 4 EXISTING PARAPET COPING TO BE REPAIRED, SEALED AND PAINTED
- 5 EXISTING RAILING TO BE PAINTED SF-3
- 6 STENCIL PAINTED GRAPHIC ELEMENT
- 7 NEW EXTERIOR PAINT TREATMENT
- 8 EXISTING WINDOWS
- 9 EXISTING BOLLARD
- 10 NEW EXTERIOR LIGHT FIXTURE CENTERED ON WINDOW AND/OR GRAPHIC, OTHERWISE AS INDICATED IN ELEVATION. PATCH AND REPAIR ROOF MEMBRANE AT FIXTURE ATTACHMENT POINT. ELECTRICAL CONTRACTOR TO VERIFY CAPACITY ON EXISTING CIRCUITS FOR LIGHTS
- 11 REINSTALL ADDRESS NUMBERS AFTER PAINTING
- 12 NEW SIGNAGE ACCENT LIGHT FIXTURE, REFER TO LIGHT FIXTURE SCHEDULE. ELECTRICAL CONTRACTOR TO VERIFY CAPACITY ON EXISTING CIRCUITS FOR LIGHTS
- 13 NEW PRE-FINISHED METAL LOUVERED AWNINGS (AWNINGS ABOVE DOORS TO HAVE RAIN DIVERTERS)
- 14 NEW DRIVE-THRU CANOPY
- 15 NEW STAND OFF METAL PANEL SYSTEM W/ VINYL GRAPHICS
- 16 NEW KFC INDIVIDUAL LETTER FACES AND CABINET CANS.
- 17 NEW METAL PANEL SYSTEM ATTACHED TO AND HELD OFF EXISTING TOWER, TOP OF PANELING TO ALIGN WITH BOTTOM OF EXISTING TOWER COPING.
- 18 PAINT EXISTING EXTERIOR DOOR AND FRAME
- 19 NEW EXTERIOR WALL LIGHT, M-3
- 20 EXISTING STOREFRONT
- 21 LOUVERED AWNINGS AT DRIVE-THRU TO HAVE MINIMUM PROJECT - NO FURTHER THAN THE CURB BELOW - CONTRACTOR TO CONFIRM/VERIFY LOUVER AWNING SUPPORT ARM LENGTH WITH VENDOR.

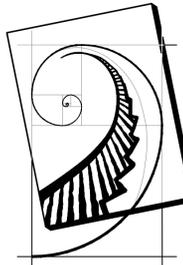
KFC IMAGE COMPONENTS SCHEDULE

SIGNAGE			
TAG	QTY.	ITEM DESCRIPTION	ELECTRIC
S1b	1	VINYL LOGO/GRAPHICS FOR TOWER PANEL - HALF HT.	
S3a	2	KFC CHANNEL LETTERS - 30" RED	
S4b	1	"REAL MEALS TO GO" VINYL LETTERS FOR 8' DT CANOPY	
S5c	1	"WORLD FAMOUS CHICKEN" 12" LETTERS - PAINT	
S8a	1	"HARD WAY" PAINT TEMPLATE - 57" ROUND	
S8e	1	"HARD WAY" PAINT TEMPLATE - 10'-4" HORIZONTAL	
BUILDING EXTERIOR ELEMENTS			
TAG	QTY.	ITEM DESCRIPTION	
B1b	1	TOWER PANEL WITH LOGO AND GRAPHICS - HALF HT.	
B3b	1	DT WINDOW CANOPY - 8" WIDE	
B5a	6	SHUTTERED AWNINGS - 6'-0" WIDE	
B5e	1	SHUTTERED AWNINGS - 3'-4" WIDE	
B5j	2	SHUTTERED AWNINGS - 5'-0" WIDE (3'-0" HIGH)	
B5j	1	SHUTTERED AWNINGS - 8'-0" WIDE	

EXTERIOR FIXTURES					
NO.	QTY.	LOCATION	MFG/CATALOG NUMBER	DESCRIPTION	WATTS/ VOLTS
E-1	16	EXTERIOR WALLS	AMERLUX: WAF130/BLK (LIGHT) AMERLUX: WAF1 WALL MNT./BLK-36IN (BRACKET)	SINGLE ARRAY LED FLOOD LIGHT 3000K BLACK FINISH WITH CUSTOM 36" ARM BRACKET BLACK FINISH	24 WATTS / 120 VOLTS
E-2	3	ABOVE BANNER PANEL	AMERLUX: FL11WS/30/BLK (LIGHT) AMERLUX: WAF16/BLD MNT./BLK-48IN (BRACKET)	SINGLE ARRAY LED FLOOD LIGHT 3000K BLACK FINISH WITH CUSTOM 48" ARM BRACKET BLACK FINISH HORIZONTAL WIDE SPOT BEAM	31 WATTS / 120 VOLTS
M-3	3	WALL SCONCE	RAB: WPLED20Y	EXTERIOR RATED LED WALL PACK 3000K BRONZE FINISH	20 WATTS / 120 VOLTS



VMI JOB NUMBER
1816



VMI architecture
Design - Planning - Interiors
637 5th Avenue San Rafael, CA 94901
415-451-2500 415-451-2595 fax
www.vmi-arch.com



CONTRACT SET
04/23/19

REVISION:

Mar	Date	B
	8/25/2018	CES

BLDG. DEPT. PLAN CHECK SUBMITTAL & BID SET

PROJECT TITLE
"K-32 / S6000
TO AMERICAN SHOWMAN"
TEMPLATE VERSION
RELEASE 4.0 OCT. 2017
HMC #516 LEONARD & LAURIE
6890 HIGHLAND DRIVE
COTTONWOOD HEIGHTS, UT 84121

COMMISSION NO. S720075
ISSUE DATE 9/25/2018

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A-2.0

W:\Data\Harman\2017 Utah_Remodels\1816_UT_SallLakeCity_516_LeonardAndLaurie\03_cad_current\1816_420_A-2.0 EXTERIOR ELEVATIONS.dwg By: CSORRELL Saved on 6/14/2019 1:07:52 PM
 ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DECIDED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT.
 THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE USER SHALL BE RESPONSIBLE FOR ANY ADJUSTMENTS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SUCH ADJUSTMENTS SHALL BE SUBMITTED TO THIS OFFICE FOR APPROVAL. TECHNICAL PROCEDURES WITH PUBLICATION RIGHTS RESERVED.



MEMORANDUM

To: Architectural Review Commission (ARC)
From: Andy Hulka, Associate Planner
Date: June 27, 2019
Subject: CUP-19-005, 7-Eleven Convenience Store and Gas Station, 7269 S. Union Park Ave.

INTRODUCTION

An application has been made for architectural review and approval of a Certificate of Design Compliance for a new 7-Eleven convenience store and gas station at 7269 S. Union Park Ave. ARC review of this project is required because the property is located in the city's Gateway Overlay District.

C. Certificate of design compliance. A certificate of design compliance issued by the ARC shall be required before proceeding with any new development or changes to existing development in a Gateway Overlay District. No alteration of the existing condition of land, structures, signs, landscaping or lighting, including, without limitation, demolition of any structure, application of new exterior siding material, creation of a new window or dormer, creation of a driveway or parking facility, construction of a fence or garage, or enclosure of a porch shall be permitted within the Gateway Overlay District except as provided in this chapter.

CONTEXT



PROPOSAL

This proposal is for a new convenience store and gas station on a 0.68-acre parcel. The current zoning designation on the property is Regional Commercial (CR). The applicant has submitted a site plan, landscaping plan, lighting plan, building elevations, and a narrative. Included in this memo are copies of each relevant plan.

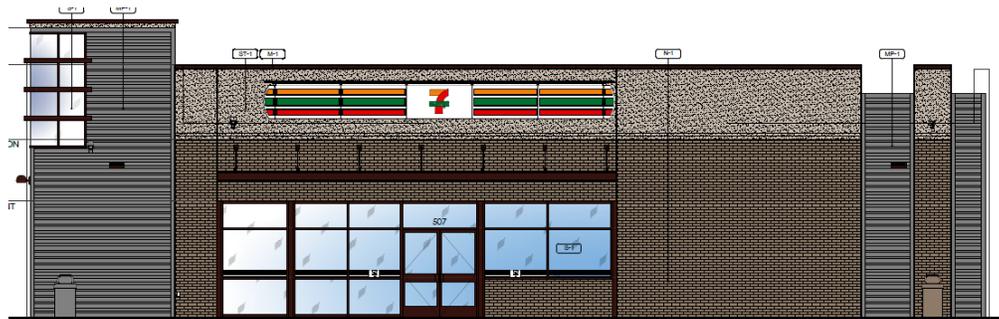
DESIGN GUIDELINES REVIEW

Staff has completed a preliminary review of the plans for compliance with the city's design guidelines. The following list of items for ARC consideration includes suggestions based on the design guidelines and concerns from neighboring residents.

Entrances

- "Entrance areas should have a high quality of finish and level of detail." (p. 1, #2)
- "To make entrances stand out, implement at least two articulation techniques, such as: clerestories, oversized doors, windows flanking doors, ornamental lighting, decorative stone/masonry, a pedestrian area with seating, public art, or landscaping." (p. 1, #6)

Staff Analysis: Although the entrance features lights, an awning, and windows flanking doors, the entry area does not feature any additional elements or details beyond what is typical for most 7-Eleven stores. Staff recommends adding additional landscaping, ornamental lighting, or other features to improve the entrance design.



Main Entrance Elevation

Windows

- "The majority of windows on a given floor should be relatively equal in size." (p. 2, #5)

Staff Analysis: The windows at the entrance are not symmetrical. The windows to the left of the entrance extend to the ground, but the windows to the right of the door do not. Staff recommends redesigning the windows around the entrance to be more symmetrical.



Street-facing Elevation

Awnings & Canopies

- “In developments with multiple storefronts, awnings should be complementary in size, color, and material.” (p. 3, #2)

Staff Analysis: The front awning appears to be slightly higher than the side awning. Staff recommends revising plans so awnings are at the same level.

National Franchise/Big-Box Stores

- “Prototypical signage and architecture of big-box stores is discouraged.” (p. 5, #1)

Staff Analysis: Staff recommends close review of the design to ensure compliance with this provision.

Roofs

- “All parapets should feature cornice treatments.” (p. 8, #2)

Staff Analysis: Staff recommends adding a cornice treatment to the proposed parapets.

Building-Mounted & Canopy Lighting

- “Building-mounted lights should be designed to complement the architecture of the building.” (p. 9, #8)

Staff Analysis: Staff recommends modifying the building-mounted lights to match the architecture of the building (e.g. different color or material for fixtures).

Evolve™ LED Area Light

Scalable Wall Pack (EWS3)



Proposed wall-mounted lights

Site Lighting

- “Limit parking lot light poles to a maximum of eighteen (18) feet to maintain a human scale and adhere to the CWH ordinance.” (p. 26, #2)

Staff Analysis: The proposed parking lot lights are 20 feet high. Revise the lighting plans to bring the lights into compliance with the zoning ordinance.

Building Materials

- “Openings (doors or windows) in a brick or stone façade should have a lintel, arch, or soldier course.” (p. 12, #5)
- “Horizontal change from brick or stone to another material must be done using a stone cap or brick sill that protrudes from the face of the building.” (p. 12, #7)

Staff Analysis: Staff recommends adding a lintel above the entryway and windows and adding a brick sill at the transition from the brick to EIFS.

Landscape & Streetscape

- “Use vegetation that fits in naturally with the area and the surrounding developments.” (p. 17, #4)
- “Include trees along all pedestrian walkways where possible.” (p. 17, #6)

Staff Analysis: Effort should be made to preserve the existing vegetation along Little Cottonwood Creek and to replace any removed trees with new trees. Only two trees are proposed on the landscape plan. Staff recommends adding additional trees along the street frontage where possible.

Signs

- “One monument sign per project street frontage is allowed, and must be consistent in design with the architecture of the building and adhere to appropriate design guidelines.” (p. 23, #13)

Staff Analysis: The zoning ordinance prohibits pole signs. The existing Wingers pole sign must be removed with the new development. A conforming monument sign is allowed but must receive ARC approval. Staff recommends submittal of a monument sign design and gas canopy signs as part of this application.

STAFF RECOMMENDATION

Staff recommends approval of a Certificate of Design Compliance subject to the following conditions:

1. Revise the entryway design so the windows on both sides of the door are symmetrical;
2. All awnings must be mounted at the same level;
3. Modify the building-mounted light fixtures to match the color of the building;
4. Revise the lighting plan so that the parking lot lights are not more than 18 feet in height;
5. Add a lintel above the entryway and windows;
6. Add a brick sill at the transition from the brick to EIFS material;
7. Add a cornice treatment to the proposed parapets;
8. Preserve the existing vegetation along Little Cottonwood Creek to the greatest extent possible;
9. Add additional trees along the street frontage;
10. Additional signage not shown in this submittal requires approval by the ARC.

APPROVAL PROCESS

Prior to the issuance of any permit for building and/or site work, staff will review final plan submittals for compliance with applicable city ordinances pertaining to setbacks, building height, landscaping, parking, etc. Issuance of a Certificate of Design Compliance will ensure that the applicant has complied with pertinent city ordinances regarding architecture and site design. The Planning Commission must approval a conditional use permit to operate a gasoline stations in the Regional Commercial zone.

APPLICANT INFORMATION

- Stephen Selu, Kimley-Horn
 - 385-212-3178

MODEL MOTIONS**Approval**

I move to issue a Certificate of Design Compliance for project CUP-19-005 subject to all recommended conditions of approval outlined in the staff report dated June 27, 2019.

- Add any additional conditions of approval...

Denial

I move to deny a Certificate of Design for project CUP-19-005 based on the following findings:

- List reasons for denial...

ATTACHMENTS

1. Applicant's Narrative
2. Plan Submittal (site plan, landscape plan, building elevations, etc.)



March 21, 2019

Cottonwood Heights City
Community Development Department
2277 E. Bengal Blvd.
Cottonwood Heights, UT 84121
T: (801) 944-7000

RE: 7-Eleven Cottonwood Heights
Project Narrative

Dear Mike Johnson:

This letter is presented on behalf of Fort Union Shopping Center LLC (the "Owner"), the property owner of Parcel 22-29-279-002-0000 located at 7269 South Fort Union Park Avenue (the "Site") in Cottonwood Heights (the "City"), Utah. It is the Owner's intent to develop a 7-Eleven convenience store and gas station on the subject parcel. The Site is approximately 0.68 acres and located within the Regional Commercial (CR) Zone in which the proposed use is considered a Conditional Use.

The purpose of this letter is to display how the proposed development conforms to the development standards applicable to the Regional Commercial Zone as written in Chapter 19.40 of Cottonwood Heights Code of Ordinance. The purpose of the CR zone is to establish areas for larger scaled commercial uses to support and serve the community, region, and traveling public. Development within the CR zone should be designed to encourage pedestrian and transit access, be compatible with neighboring residential neighborhoods, and be consistent with road and utility capacities.

The proposed use is a retail business that is well suited to support and serve the surrounding community. 7-Eleven is located adjacent to residential, office, and other commercial developments and provides a more convenient and faster alternative to the larger scale stores. With 7-Eleven focused on the sell of every day goods they are made to make life easier for customers. The location provides ease of access for neighboring residents, traveling pedestrians, and vehicular traffic. Their 24-hour service is also a benefit to the surrounding community as their doors are always open to serve customers in need.

The building architecture will comply with the City's architectural standards related to the Gateway Overlay Zone and blend in with the surrounding environment. Due to the small building footprint

According to Section 19.40.150 Subsection F a seven-foot-high masonry wall shall be constructed and maintained along any property line shared between a development within the CR Zone and residential uses. The east property line shared with the multi-family residential development lies within the Cahoon and Maxfield Ditch. The commercial site sits approximately five to ten feet higher than the residential development with the bottom of the ditch being lower than the residential development. The Ditch provides a natural buffer between the commercial and residential uses with the existing vegetation providing natural screening from lights and noise. Also, the residential parking lot serves as an additional buffer decreasing the potential of noise and light from impacting the residents.

In closing, since the Owner acquired the parcel nearly two years ago, the Owner has actively and diligently sought tenants for the Parcel. Many have expressed interest and with each prospect the same concerns were raised. The existing building is undesirable. The site geometry and the encroachment of the ditch further constrains the site. Given the unique constraints, imposing additional contextual constraints of the current Zoning Ordinance would inhibit the Owner's ability to redevelop this Parcel.



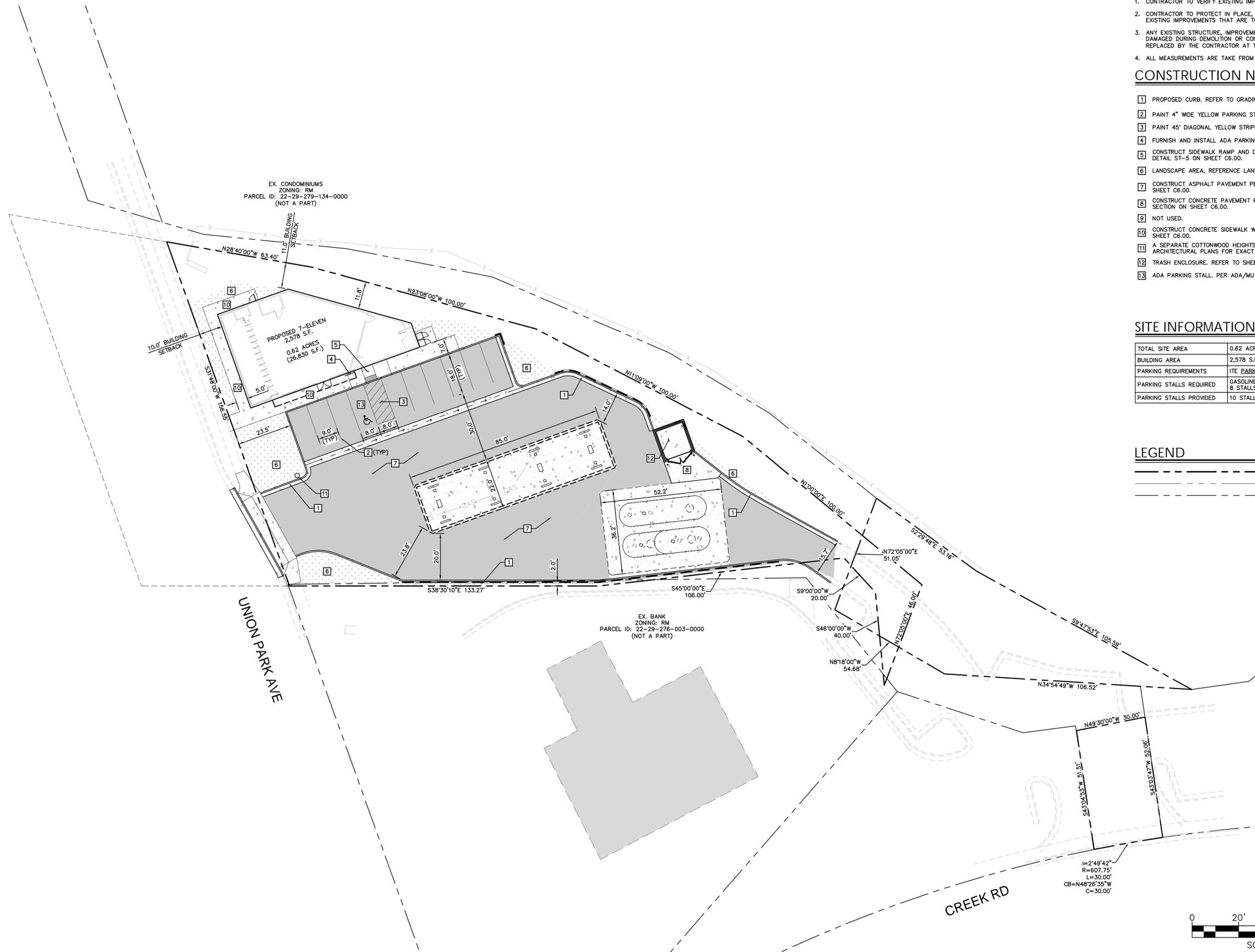
We appreciate your efforts in the review of the proposed development of Advance Auto Parts. Please contact me should you have any question at stephen.selu@kimley-horn.com or (385) 212-3178.

Sincerely,

A handwritten signature in black ink that reads "Stephen Selu". The signature is fluid and cursive.

KIMLEY-HORN AND ASSOCIATES, INC.
Stephen A. Selu, P.E.
Project Manager

Date: June 7, 2019 11:44 AM
 User: BROWNING, MATT
 Path: K:\S\C_Civil\09240001_7-ELEVEN_COTTONWOOD HEIGHTS - FORT UNION-CADDIS PLAN SHEETS\09240001_MC.DWG
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



GENERAL NOTES

1. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
2. CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
3. ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
4. ALL MEASUREMENTS ARE TAKE FROM FACE OF CURB UNLESS NOTED OTHERWISE.

CONSTRUCTION NOTES

- 1 PROPOSED CURB. REFER TO GRADING PLAN FOR DETAILS.
- 2 PAINT 4" WIDE YELLOW PARKING STRIPING.
- 3 PAINT 45° DIAGONAL YELLOW STRIPING.
- 4 FURNISH AND INSTALL ADA PARKING SIGN AND POST.
- 5 CONSTRUCT SIDEWALK RAMP AND DETECTABLE WARNING SYSTEM PER COTTONWOOD HEIGHTS DETAIL ST-5 ON SHEET C6.00.
- 6 LANDSCAPE AREA, REFERENCE LANDSCAPE PLANS.
- 7 CONSTRUCT ASPHALT PAVEMENT PER TYPICAL ASPHALT CONCRETE PAVEMENT SECTION ON SHEET C6.00.
- 8 CONSTRUCT CONCRETE PAVEMENT PER TYPICAL PORTLAND CEMENT CONCRETE PAVEMENT SECTION ON SHEET C6.00.
- 9 NOT USED.
- 10 CONSTRUCT CONCRETE SIDEWALK WIDTH PER PLAN PER COTTONWOOD HEIGHTS DETAIL ST-1 ON SHEET C6.00.
- 11 A SEPARATE COTTONWOOD HEIGHTS CITY PERMIT IS REQUIRED FOR SIGNAGE. REFERENCE ARCHITECTURAL PLANS FOR EXACT SIGNAGE LOCATION.
- 12 TRASH ENCLOSURE. REFER TO SHEET C6.10 FOR DETAILS.
- 13 ADA PARKING STALL. PER ADA/MUTCD STANDARDS.

SITE INFORMATION

TOTAL SITE AREA	0.62 ACRES (26,830 S.F.)
BUILDING AREA	2,578 S.F.
PARKING REQUIREMENTS	ITE PARKING GENERATION, 4TH EDITION
PARKING STALLS REQUIRED	GASOLINE STATION WITH CONVENIENCE MARKET, 85% PEAK DEMAND: 8 STALLS
PARKING STALLS PROVIDED	10 STALLS

LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY LINE
- - - ADJACENT PROPERTY LINE

DATE	DESCRIPTION

SITE PLAN

7-ELEVEN

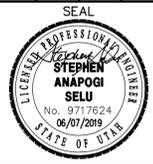
7269 S UNION PARK AVENUE
COTTONWOOD HEIGHTS, UTAH

215 South State Street
 Salt Lake City UT 84111
 Tel: No. (801) 213-3176

7-ELEVEN

7269 S UNION PARK AVENUE
COTTONWOOD HEIGHTS, UTAH

DRAWN BY:	MJB	6/07/2019
DESIGNED BY:	SAS	6/07/2019
CHECKED BY:	SAS	6/07/2019
PROJECT NO.:	093600001	SCALE: AS SHOWN



PREPARED UNDER THE DIRECTION AND SUPERVISION OF STEPHEN A. SELU, P.E., UTAH REGISTRATION NO. 9717624-2202 FOR AND ON BEHALF OF KIMLEY-HORN AND ASSOCIATES, INC.

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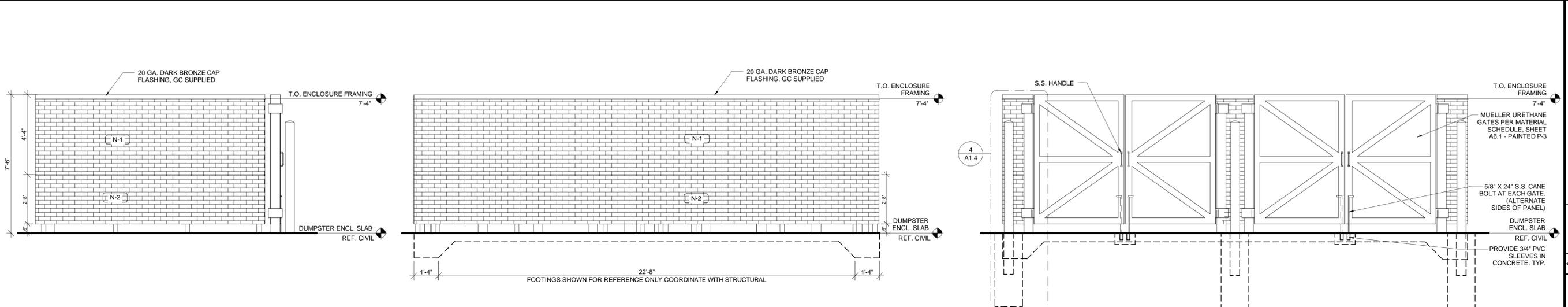
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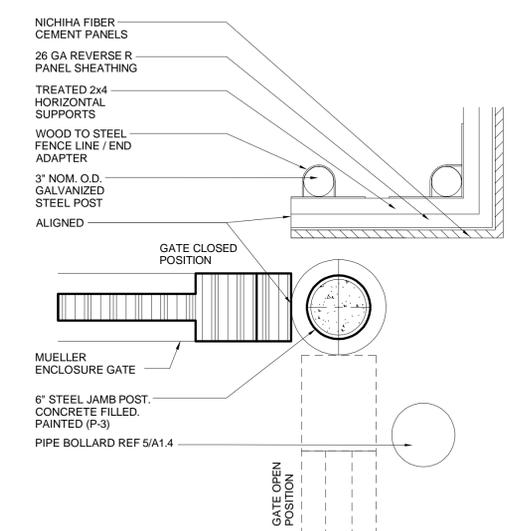
User: BROWNING, MATT
 Date: June 7, 2019 11:44 AM
 Path: K:\S\C_CIVIL\09360001_7-ELEVEN_COTTONWOOD HEIGHTS - FORT UNION-CADDD\PLAN SHEETS\09360001_DT.DWG
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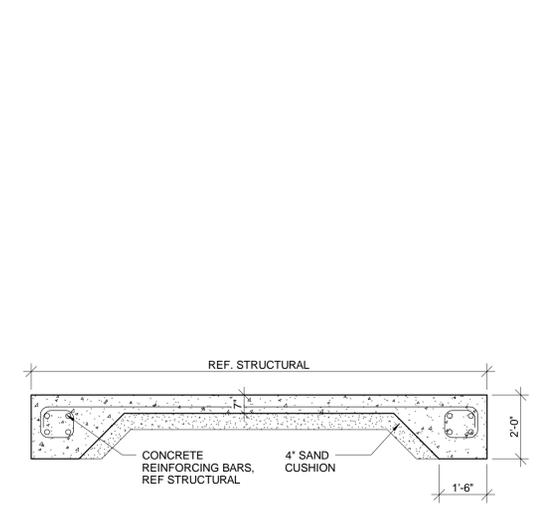
10 SIDE DUMPSTER ENCL. ELEVATION
3/8" = 1'-0"

9 REAR DUMPSTER ENCL. ELEVATION
3/8" = 1'-0"

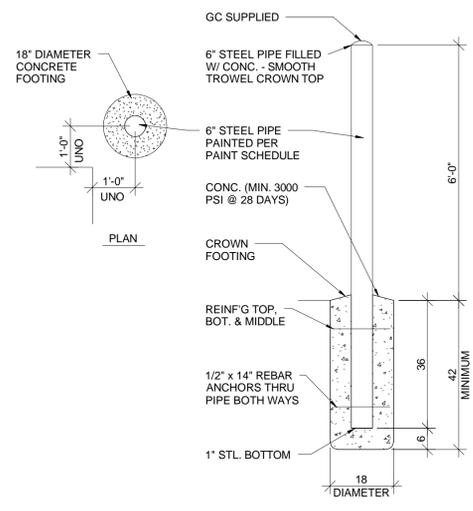
8 FRONT DUMPSTER ENCL. ELEVATION
3/8" = 1'-0"



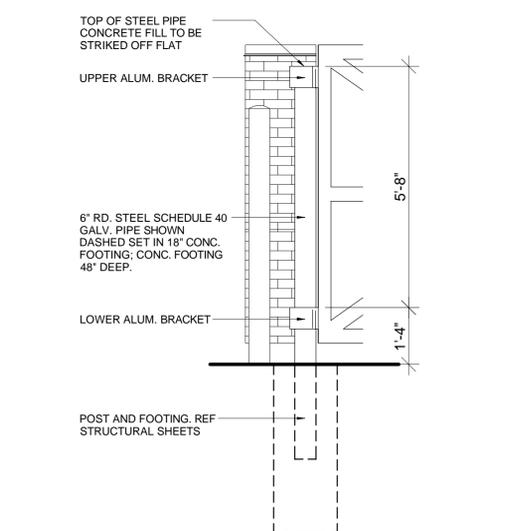
7 DETAIL - GATE
1 1/2" = 1'-0"



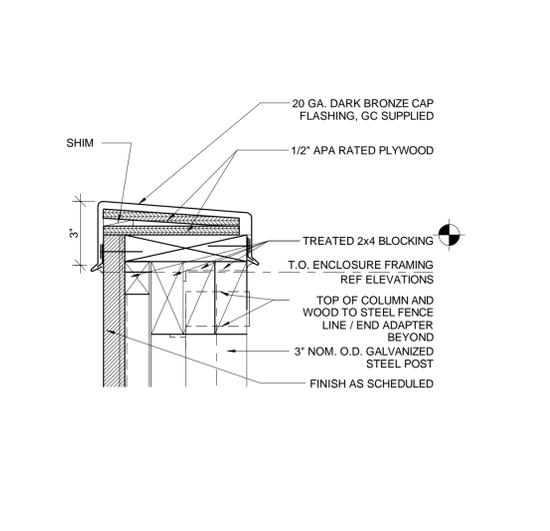
6 DUMPSTER ENCL. FOUNDATION SECTION
3/8" = 1'-0"



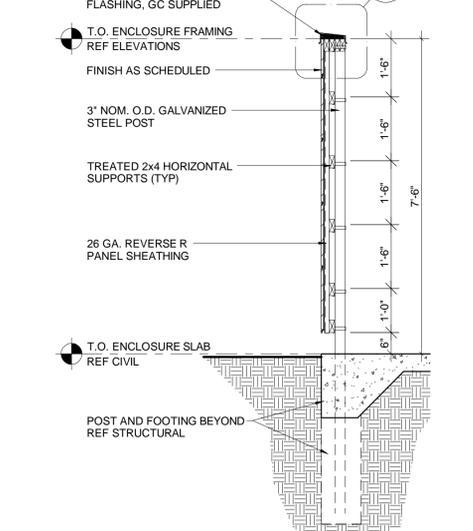
5 TYPICAL BOLLARD SECTION
1/2" = 1'-0"



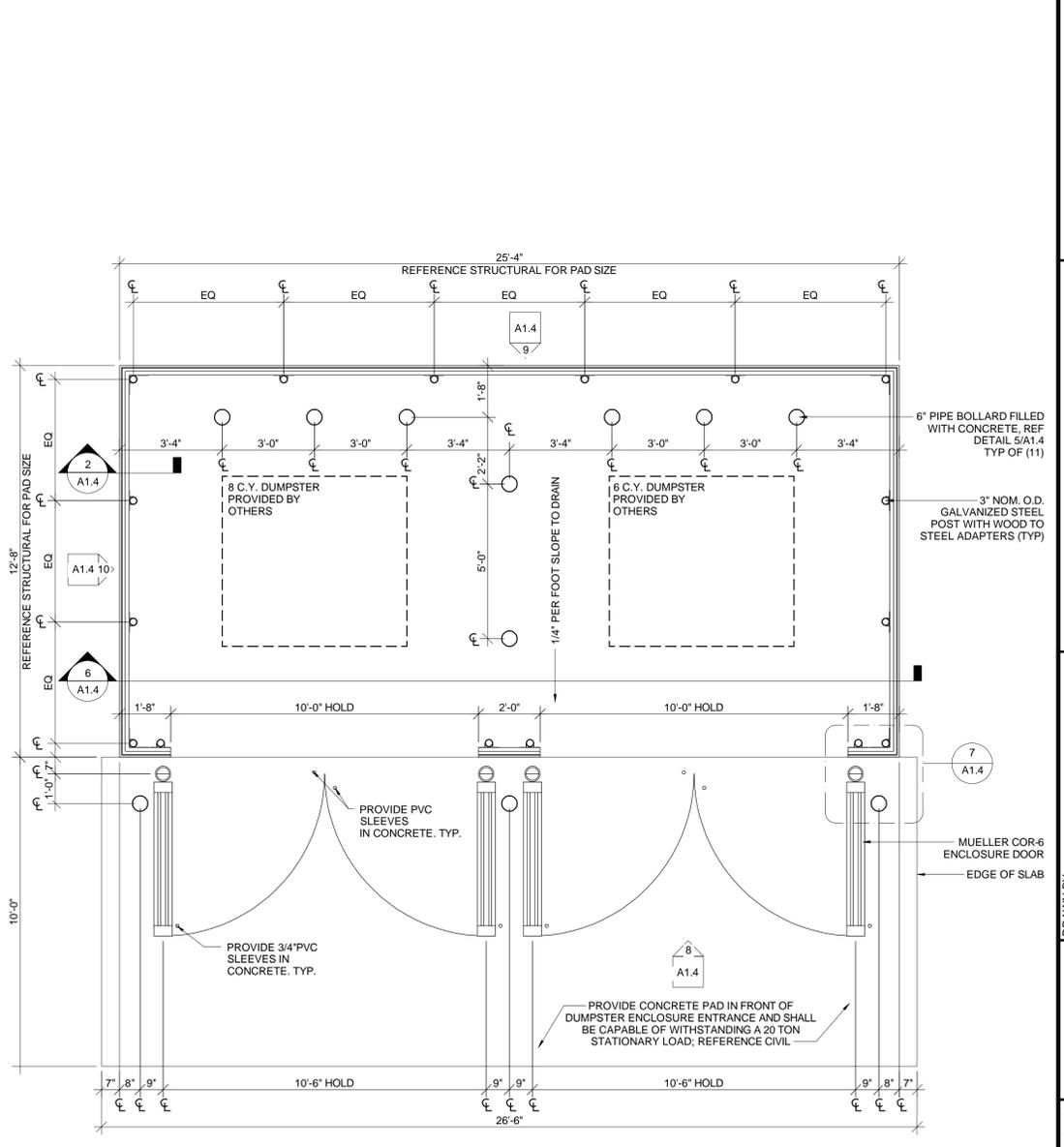
4 GATE BOLLARD DETAIL
1/2" = 1'-0"



3 DETAIL - COPING
3" = 1'-0"



2 DUMPSTER ENCL. WALL SECTION
1/2" = 1'-0"



1 DUMPSTER ENCLOSURE PLAN
3/8" = 1'-0"

DATE	DESCRIPTION						
DETAILS							
7-ELEVEN							
Kimley-Horn 7269 S UNION PARK AVENUE COTTONWOOD HEIGHTS, UTAH							
DRAWN BY:	JMB	6/07/2019	DESIGNED BY:	SAS	6/07/2019	CHECKED BY:	SAS
PROJECT NO.:	093600001	SCALE:	AS SHOWN				
PREPARED UNDER THE DIRECTION AND SUPERVISION OF STEPHEN A. SELU, P.E., UTAH REGISTRATION NO. 9717624-2202 FOR AND ON BEHALF OF KIMLEY-HORN AND ASSOCIATES, INC.							
SHEET C6.10							

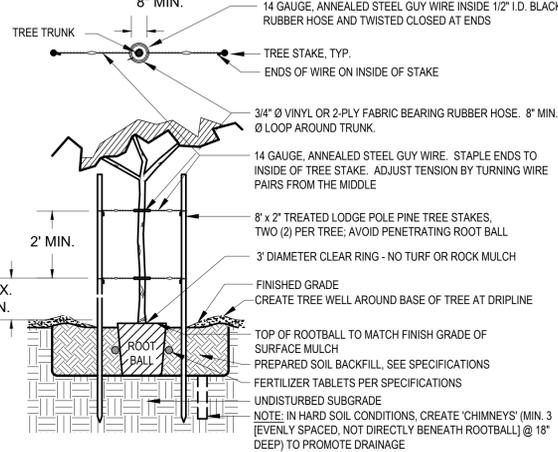
GENERAL LANDSCAPE NOTES

- ALL WORK SHALL BE CONFINED TO LIMITS OF CONSTRUCTION AS SHOWN ON PLANS.
- SITE GRADING NECESSITATED BY THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY CALLED OUT ON THE PLANS SHALL BE CONSIDERED INCIDENTAL WORK.
- CONTRACTOR SHALL COORDINATE AND BE IN COMPLIANCE WITH ALL STATE AND LOCAL MUNICIPALITIES AS WARRANTED.
- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND EXISTING SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT. IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, OR THE LANDSCAPE ARCHITECT MAY BE CAUSE FOR THE WORK TO BE DESIGNATED UNACCEPTABLE.
- THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC., DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND/OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR IS TO MAINTAIN CONTROLLED PEDESTRIAN AND ADA ACCESS THROUGHOUT ALL AREAS OF THE SITE THROUGHOUT CONSTRUCTION PERIOD.
- MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. DAILY, AND MORE OFTEN IF NECESSARY, INSPECT & PICK UP ALL SCRAP, DEBRIS, & WASTE MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, MULCH AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR SIDEWALKS. THE CONTRACTOR MUST CLEAN THESE DAILY, IF NECESSARY. THE CONTRACTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
- PROVIDE PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNMARRED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN.
- EROSION CONTROL MEASURES (IE: SILT FENCING AND SEDIMENT CONTROL) SHALL BE MAINTAINED BY THE CONTRACTOR PER CIVIL SPECIFICATIONS. ANY EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTOR SHALL BE REPLACED PER CIVIL SPECIFICATIONS.
- PLANT QUANTITIES LISTED IN THE PLANT LEGEND ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL DO THEIR OWN TAKE-OFFS AND BASE BID ACCORDINGLY.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED STANDARDS, AND FREE OF ANY BRUISES, CUTS OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
- LANDSCAPE CONTRACTOR TO TAG AND HOLD ALL PLANT MATERIAL A MINIMUM OF 30 DAYS PRIOR TO DATE OF INSTALLATION. ALL PLANT MATERIAL SUBSTITUTIONS MADE WITHIN THE 30 DAYS PRIOR TO INSTALLATION TO BE THE NEXT SIZE LARGER AT NO ADDITIONAL COST TO THE CLIENT.
- ALL TREE LOCATIONS TO BE STAKED AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- INSTALL ALL CANOPY TREES WITH A MINIMUM OF 5 FT. SEPARATION FROM ALL UTILITIES, UNLESS A ROOT BARRIER IS UTILIZED.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE ROOT BALLS WHICH SETTLE BELOW GRADE, WEED, INSECT, AND DISEASE CONTROL, FERTILIZING, WEEDING, MOVING, EDGING AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP.

GENERAL LANDSCAPE NOTES (CONT.)

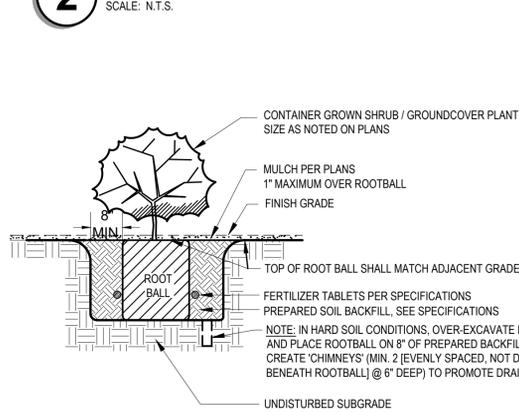
- FINISH GRADE IN ALL AREAS TO BE SMOOTH AND EVEN AND 1" BELOW TOP OF CURB OR SIDEWALK.
- AREAS TO RECEIVE ROCK MULCH SHALL BE TREATED AT LEAST ONCE WITH AN HERBICIDE PRIOR TO PLANTING OPERATIONS, IMMEDIATELY PRIOR TO PLACEMENT OF ROCK MULCH. CONTRACTOR TO APPLY PRE-EMERGENT PER MANUFACTURER RECOMMENDATIONS.
- ROCK MULCH SHALL EXTEND UNDER SHRUBS; TREES SHALL MAINTAIN A 3' DIAMETER CLEAR AREA AROUND THE TRUNK, FREE OF TURF AND ROCK MULCH.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE ENTIRE PROJECT FOR 90 DAYS AFTER ACCEPTANCE OF THE WORK OWNERS REPRESENTATIVE. UPON COMPLETION OF THE MAINTENANCE PERIOD THE OWNER WILL ASSUME ALL MAINTENANCE RESPONSIBILITY.
- PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, COMPLETE ANY INITIAL PUNCH-LIST ITEMS. THEN OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE OF SUBSTANTIAL COMPLETION. DETERMINE WITH THE OWNER'S REPRESENTATIVE THE START DATE FOR THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR TO MAINTAIN LANDSCAPE WHICH MAY INCLUDE WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT WRITTEN REQUEST FOR FINAL PUNCH-LIST ONE WEEK PRIOR TO END OF MAINTENANCE PERIOD.
- ALL GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS OF THE CONTRACT SHALL APPLY.
- TREES SHALL BE PLANTED NOT LESS THAN 10' AWAY FROM FIRE HYDRANTS. A 3' HORIZONTAL CLEARANCE MUST BE MAINTAINED AROUND THE OUTSIDE OF ALL FIRE HYDRANTS.

1 TREE PLANTING AND STAKING



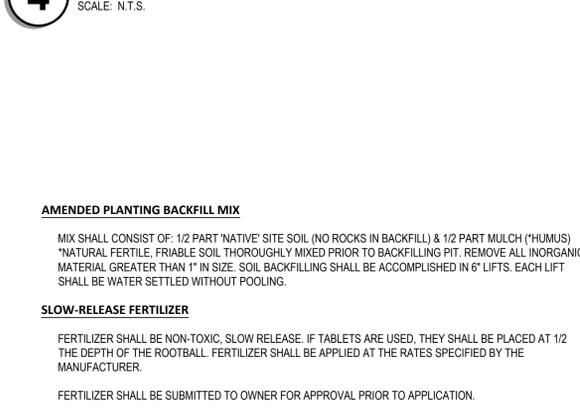
SCALE: N.T.S.

2 ROCK MULCH INSTALLATION



SCALE: N.T.S.

4 CONCRETE CURB EDGING



5 BACKFILL AND FERTILIZER NOTES

AMENDED PLANTING BACKFILL MIX
MIX SHALL CONSIST OF: 1/2 PART 'NATIVE' SITE SOIL (NO ROCKS IN BACKFILL) & 1/2 PART MULCH ('HUMUS') 'NATURAL FERTILE, FRIABLE SOIL THOROUGHLY MIXED PRIOR TO BACKFILLING PIT. REMOVE ALL INORGANIC MATERIAL GREATER THAN 1" IN SIZE. SOIL BACKFILLING SHALL BE ACCOMPLISHED IN 6" LIFTS. EACH LIFT SHALL BE WATER SETTLED WITHOUT POOLING.

SLOW-RELEASE FERTILIZER
FERTILIZER SHALL BE NON-TOXIC, SLOW RELEASE. IF TABLETS ARE USED, THEY SHALL BE PLACED AT 1/2 THE DEPTH OF THE ROOTBALL. FERTILIZER SHALL BE APPLIED AT THE RATES SPECIFIED BY THE MANUFACTURER.
FERTILIZER SHALL BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO APPLICATION.

DATE	DESCRIPTION

LANDSCAPE DETAILS

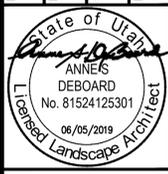
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Salt Lake City, UT 84111
Tel. No. (888) 212-3176

Kimley»Horn

7-ELEVEN

7269 S UNION PARK AVENUE
COTTONWOOD HEIGHTS, UTAH

DRAWN BY: RAS	6/07/2019
DESIGNED BY: RAS	6/07/2019
CHECKED BY: ASD	6/07/2019
PROJECT No.: 093600001	SCALE: AS SHOWN



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IRRIGATION NOTES

1. CONTRACTOR SHALL REVIEW AND FIELD VERIFY LAYOUT OF ALL IRRIGATION SYSTEM COMPONENTS AND HAVE THE LAYOUT APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO STARTING INSTALLATION.
2. SYSTEM DESIGN REQUIRES A STATIC PRESSURE OF 60 TO 75 PSI. CONTRACTOR SHALL FIELD VERIFY PRESSURE PRIOR TO ORDERING MATERIAL OR STARTING IRRIGATION INSTALLATION AND NOTIFY CONSULTANT AND OWNER'S REPRESENTATIVE OF ANY DIFFERENCE FROM PRESSURE INDICATED. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT AND OWNER'S REPRESENTATIVE, HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS.
3. ALL PIPING AND WIRING PLACED UNDER PAVED AREAS SHALL BE PER PLAN DETAILS. SLEEVE INSTALLATIONS SHALL BE COMPLETED PRIOR TO THE START OF ANY PAVING OPERATIONS (SEE ENGINEERING PAVING PLANS). WHERE NECESSARY, VERIFY EXISTING SLEEVE LOCATIONS AND DETERMINE CONDITION AND COMPATIBILITY WITH DESIGN PRIOR TO THE START OF ANY OTHER WORK. SLEEVING BENEATH EXISTING PAVEMENTS SHALL BE INSTALLED BY BORING UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.
4. THE IRRIGATION SYSTEM LAYOUT SHOWN ON THE DRAWINGS IS GENERALLY SCHEMATIC. ALL VALVES, COMPONENTS, PIPING, FITTINGS AND EQUIPMENT SHALL BE LOCATED WITHIN LANDSCAPE AREAS UNLESS SLEEVED OR OTHERWISE SHOWN OR APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING NEW IRRIGATION SYSTEM COMPONENTS AND POINT OF CONNECTION WHICH WILL PROVIDE FULL AUTOMATIC OPERATION AND 100% COMPLETE COVERAGE TO ALL PLANTS AS INDICATED ON THE PLANS WITHOUT RUN-OFF OR OVERTHROW ONTO ANY PAVED SURFACES.
5. REFER TO DETAILS FOR INSTALLATION PROCEDURES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL PIPING NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIONAL IRRIGATION SYSTEM INCLUDING ALL SUB-LATERAL PIPING, FITTINGS, AND RISERS TO EACH PLANT EMITTER AS SPECIFIED AND AS DETAILED, WHETHER OR NOT PIPING IS SHOWN ON THE PLANS.
7. ANY SUBSTITUTIONS OR OMISSIONS OF IRRIGATION COMPONENTS AND EQUIPMENT MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE PRIOR TO STARTING INSTALLATION.

IRRIGATION LEGEND

SYMBOL	MANUFACTURER / DESCRIPTION	QTY
A	Rainbird ESP 12-LXMEF with Flow Smart Module and LXMM Metal Wall Mount Enclosure; Provide Electrical per Manufacturer's Specifications. Coordinate Final Location with Owner.	1
W	Irrigation Meter, See Utility Plan	-
CO	1-1/2" Backflow Preventer - FEBCO 825Y	1
MV	Rainbird 150 EFB-CP 1.5" Master Valve, Normally Closed, with Rainbird PRS-D Pressure Regulating Module	1
FS	Rainbird FS150B 1.5" Brass Flow Sensor	1
CV	Rainbird X CZ-100-PRB-COM Drip Control Valve Kit with 1" Ball Valve and Pressure Regulating Basket Filter	2
RV	Rainbird 150-PESB-PRS-D, 1-1/2" Electric Remote Control Spray Valve with Pressure Regulating Module	2
FC	Flush End Cap	2
NOZ	Rainbird HE-VAN-8 (8' radius) Spray Nozzle on RD06-S-P30-F, 6" pop-up Spray Body, (Avoid Overspray, Provide Head to Head Coverage)	24
NOT SHOWN	SHRUBS: Rain Bird XBT-10-6 / XBT-05-6 (1 per Shrub, 5 Ports Open Max) TREES: Rain Bird XBT-20-6 (1 per Tree, 6 Ports Open)	AS REQD

SLEEVES

SYMBOL	SIZE / DESCRIPTION	QTY
2	2" SCH 40 / Spears or equal - for drip and spray laterals	115 LF
1	4" SCH 40 / Spears or equal - for mainline	8 LF

Note: All irrigation pipe and control wire beneath paved surfaces shall be sleeved in independent sleeves, min. 2x the diameter of the pipe.

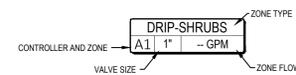
PIPE SCHEDULE

SYMBOL	SIZE / DESCRIPTION	QTY
---	1" SCH 40 PVC Mainline	45 LF
T	SCH 40 PVC - Drip Tree Lateral - 3/4"	465 LF
S	SCH 40 PVC - Drip Shrub Lateral - 3/4"	635 LF
---	SCH 40 PVC - Spray Lateral - 3/4"	180 LF

PROVIDE AND INSTALL ALL LENGTHS, FITTINGS, AND RISERS AS NECESSARY FROM LATERAL PIPE TO EMITTER INSTALLATION AT EACH PLANT (SEE DETAILS).

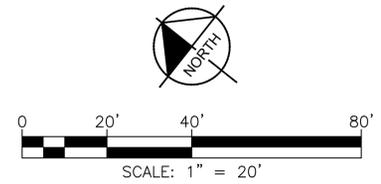
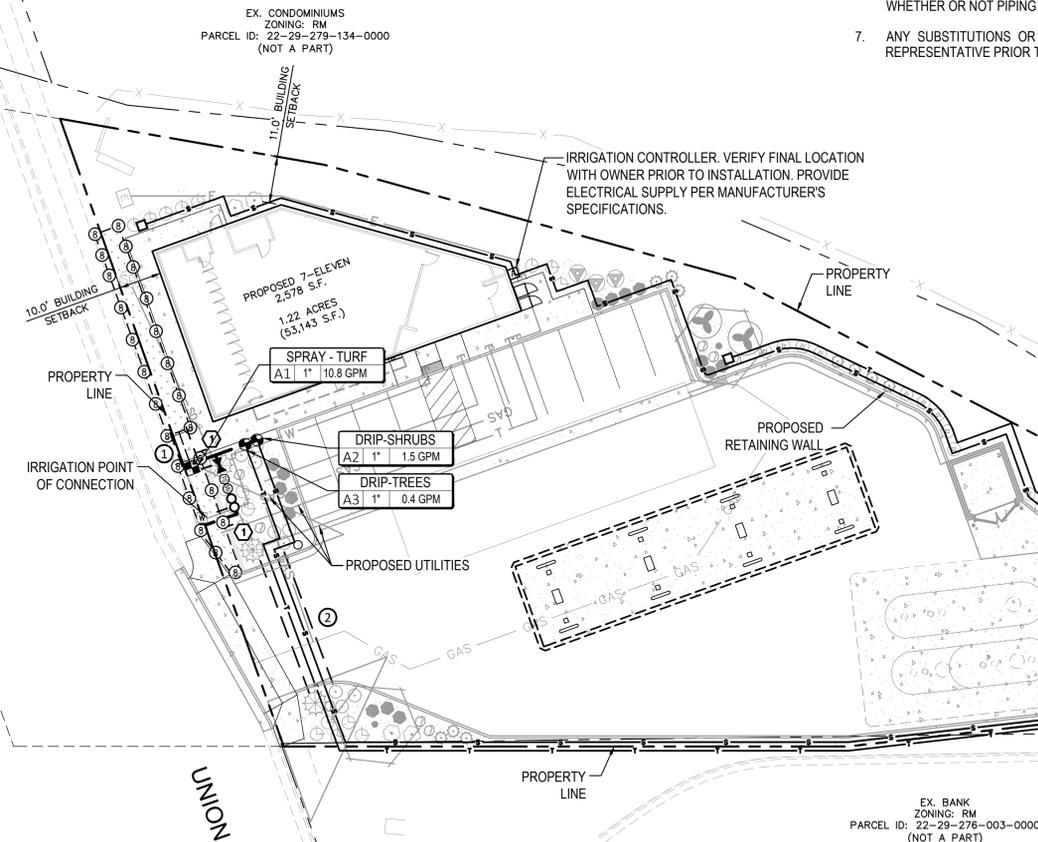
Flow (GPM)	Pipe Size	Pipe Class
0-5.0	1/2"	SCH 40 PVC
5.1-10	3/4"	SCH 40 PVC

CONTROL VALVE IDENTIFICATION



IRRIGATION WINTERIZATION

THE SYSTEM AND ALL COMPONENTS MUST BE PROPERLY WINTERIZED TO PREVENT FREEZE-RELATED DAMAGE. CONTRACTOR IS RESPONSIBLE FOR WINTERIZATION MECHANISMS AND SHALL DISCUSS WINTERIZATION PROCEDURES AND EQUIPMENT WITH OWNER PRIOR TO CONSTRUCTION.



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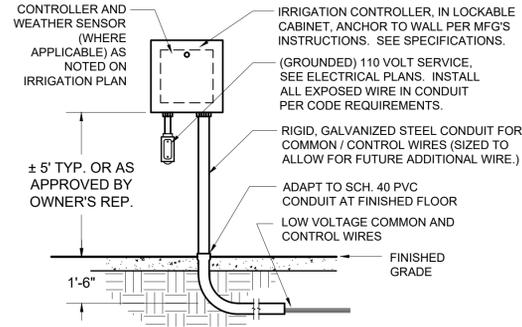
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Date: June 5, 2019 4:18 PM User: SCHWARZER, RYAN
Proj: S:\03600001 7-ELEVEN COTTONWOOD HEIGHTS - FORT UNION/CADD PLAN SHEETS\03600001_IR.DWG

DESCRIPTION	DATE	DRAWN BY: RAS 6/07/2019	DESIGNED BY: RAS 6/07/2019	CHECKED BY: ASD 6/07/2019	PROJECT No.: 093600001	SCALE: AS SHOWN
IRRIGATION PLAN		7-ELEVEN		7269 S UNION PARK AVENUE COTTONWOOD HEIGHTS, UTAH		
SHEET L2.10						

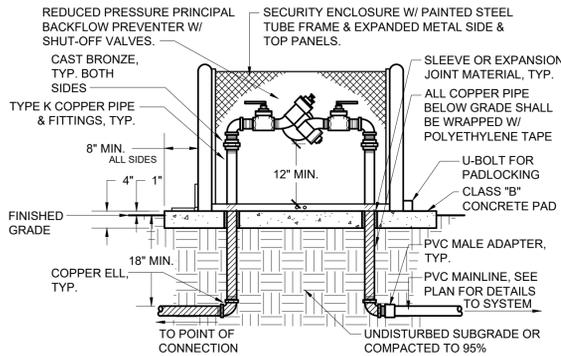
NOTES:

- COORDINATE INSTALLATION OF IRRIGATION CONTROLLER WITH OWNER'S REPRESENTATIVE. BEFORE INSTALLATION, OBTAIN APPROVAL FOR CONTROLLER LOCATION, WIRE ROUTING, AND PROPOSED CONNECTION TO ELECTRICAL SERVICE.
- SECURE CABINET TO WALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS OR PER APPROVED SHOP DRAWINGS.



1 IRRIGATION CONTROLLER IN LOCKING CABINET

SCALE: N.T.S.

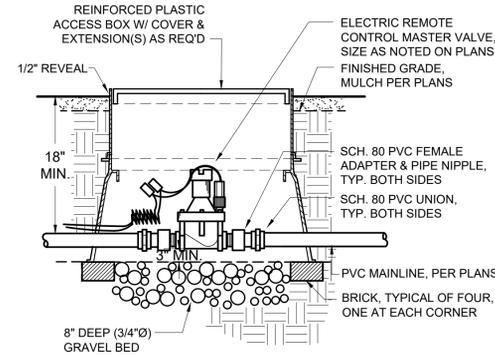


2 BACKFLOW PREVENTER IN SECURITY ENCLOSURE

SCALE: N.T.S.

NOTES:

- ALL WIRES TO BE INSTALLED PER LOCAL CODE. TAPE AND BUNDLE WIRES EVERY 7". PROVIDE EXPANSION COIL AT EACH WIRE CONNECTION IN VALVE BOX (WRAP AROUND 1/2" Ø PIPE 15 TIMES).
- COMPACT SOIL AROUND VALVE BOX TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL.
- ALL THREADED PVC JOINTS SHALL BE WRAPPED WITH TEFLON TAPE.

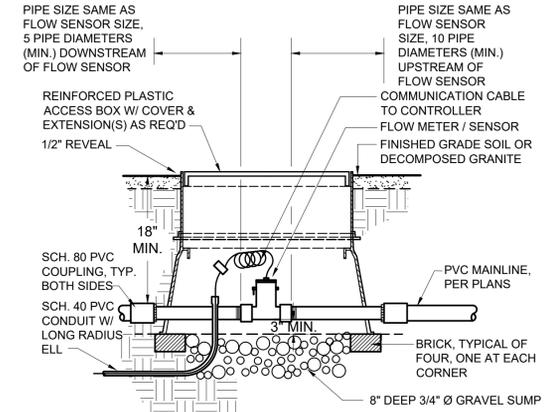


3 MASTER VALVE ASSEMBLY

SCALE: N.T.S.

NOTE:

PROVIDE PULSE DECODER, PULSE TRANSMITTER, PULSE TRANSMITTER POWER SUPPLY, AND SURGE PROTECTOR IN ACCORDANCE WITH FLOW SENSOR / CONTROL SYSTEM MANUFACTURER'S RECOMMENDATIONS.

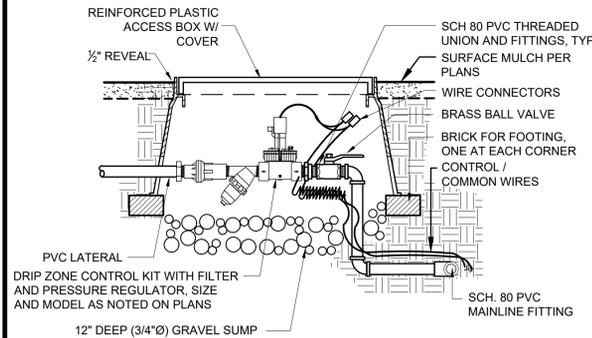


4 FLOW SENSOR ASSEMBLY

SCALE: N.T.S.

NOTES:

- ALL WIRES TO BE INSTALLED PER LOCAL CODE. TAPE AND BUNDLE WIRES EVERY 7". PROVIDE EXPANSION COIL AT EACH WIRE CONNECTION IN VALVE BOX (WRAP AROUND 1/2" Ø PIPE 15 TIMES).
- COMPACT SOIL AROUND VALVE BOX TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL.
- ALL THREADED PVC JOINTS SHALL BE WRAPPED WITH TEFLON TAPE.

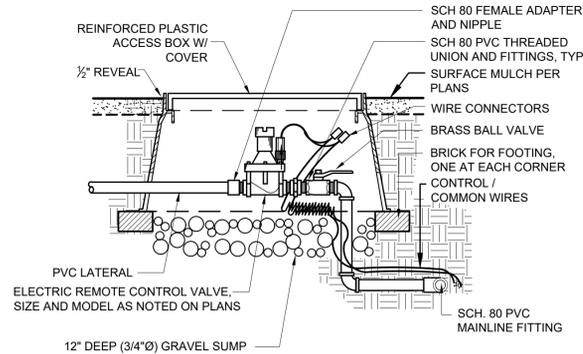


5 DRIP ZONE CONTROL KIT

SCALE: N.T.S.

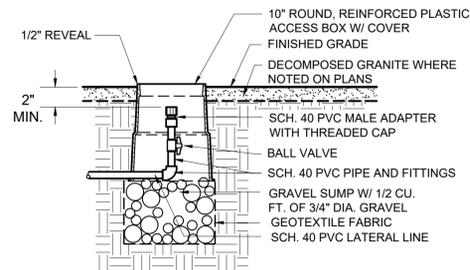
NOTES:

- ALL WIRES TO BE INSTALLED PER LOCAL CODE. TAPE AND BUNDLE WIRES EVERY 7". PROVIDE EXPANSION COIL AT EACH WIRE CONNECTION IN VALVE BOX (WRAP AROUND 1/2" Ø PIPE 15 TIMES).
- COMPACT SOIL AROUND VALVE BOX TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL.
- ALL THREADED PVC JOINTS SHALL BE WRAPPED WITH TEFLON TAPE.



6 ELECTRIC REMOTE CONTROL VALVE

SCALE: N.T.S.



7 LATERAL FLUSHING END CAP

SCALE: N.T.S.

DESCRIPTION

DATE

IRRIGATION DETAILS

7-ELEVEN

215 South State Street
Salt Lake City, UT 84111
Tel. No. (888) 212-3176

Kimley»Horn

7269 S UNION PARK AVENUE
COTTONWOOD HEIGHTS, UTAH

DRAWN BY: RAS 6/07/2019

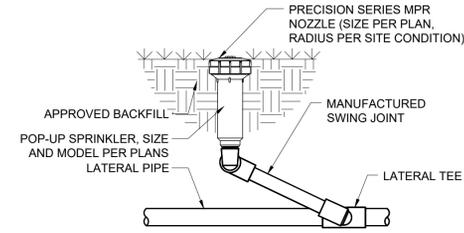
DESIGNED BY: RAS 6/07/2019

CHECKED BY: ASD 6/07/2019

PROJECT No.: 093600001 SCALE: AS SHOWN

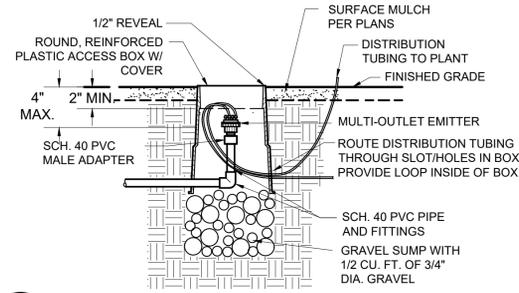
State of Utah
ANNE DEBOARD
No. 81524125301
06/05/2019
Licensed Landscape Architect

SHEET
L2.20



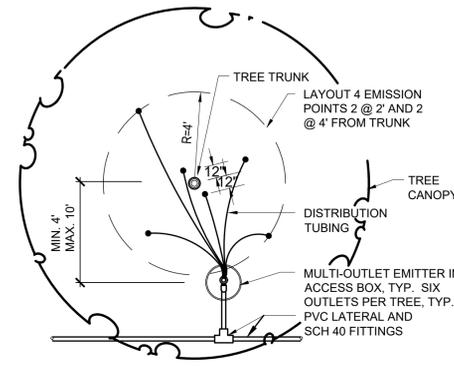
- NOTES:
1. INSTALL SPRINKLER AT FINISH GRADE.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DETAILS.

8 SPRAY HEAD
SCALE: N.T.S.

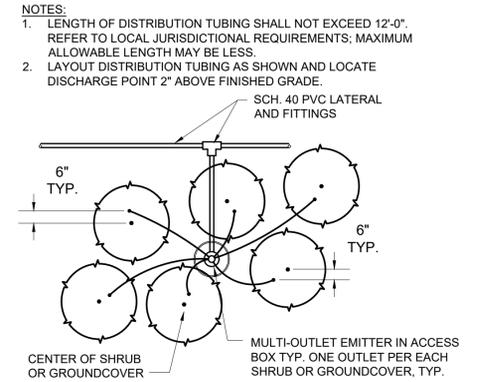


9 MULTI-OUTLET EMITTER
SCALE: N.T.S.

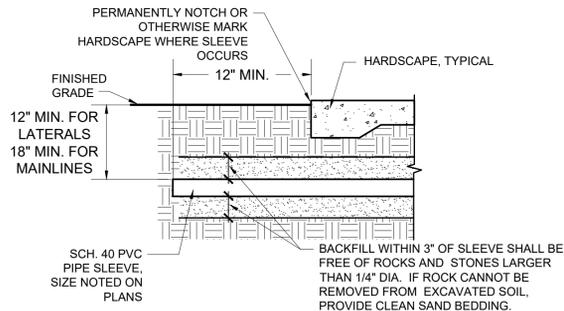
- NOTE:
1. LENGTH OF DISTRIBUTION TUBING SHALL NOT EXCEED 12'-0". REFER TO LOCAL JURISDICTIONAL REQUIREMENTS; MAXIMUM ALLOWABLE LENGTH MAY BE LESS.
 2. LAYOUT DISTRIBUTION TUBING AS SHOWN AND LOCATE DISCHARGE POINT 2" ABOVE FINISHED GRADE.



10 EMITTER DISTRIBUTION TUBING LAYOUT - TREES
SCALE: N.T.S.

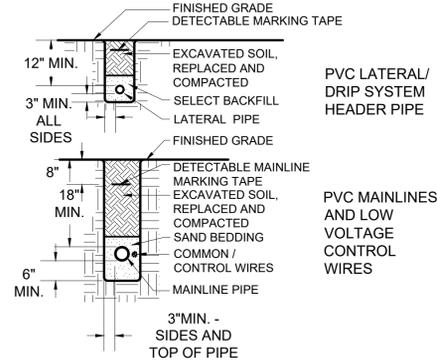


11 EMITTER DISTRIBUTION TUBING LAYOUT - SHRUBS
SCALE: N.T.S.

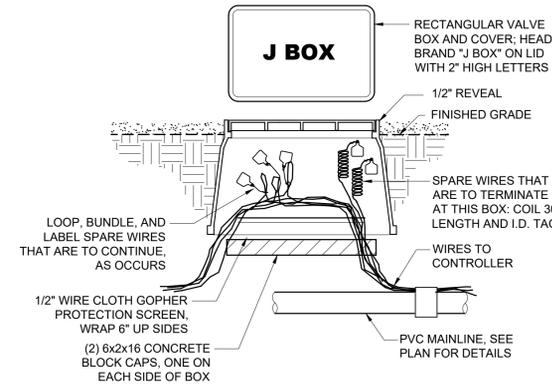


12 MAINLINE AND LATERAL PIPE SLEEVING
SCALE: N.T.S.

- NOTES:
1. SELECT BACKFILL SHALL BE SAND OR SOIL FREE OF ROCKS AND STONES LARGER THAN 1/4" DIA.
 2. BACKFILL MATERIAL SHALL BE WATERED IN AND COMPACTED TO DENSITY OF ADJACENT UNDISTURBED SOIL.

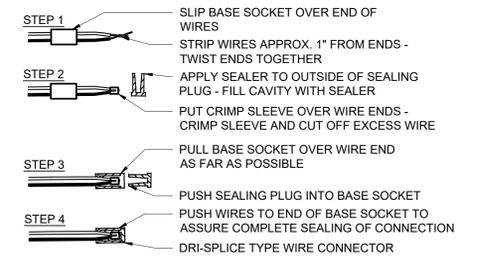


13 PIPE TRENCHING AND BACKFILL - MAINLINE, LATERALS, AND MARKING TAPE
SCALE: N.T.S.



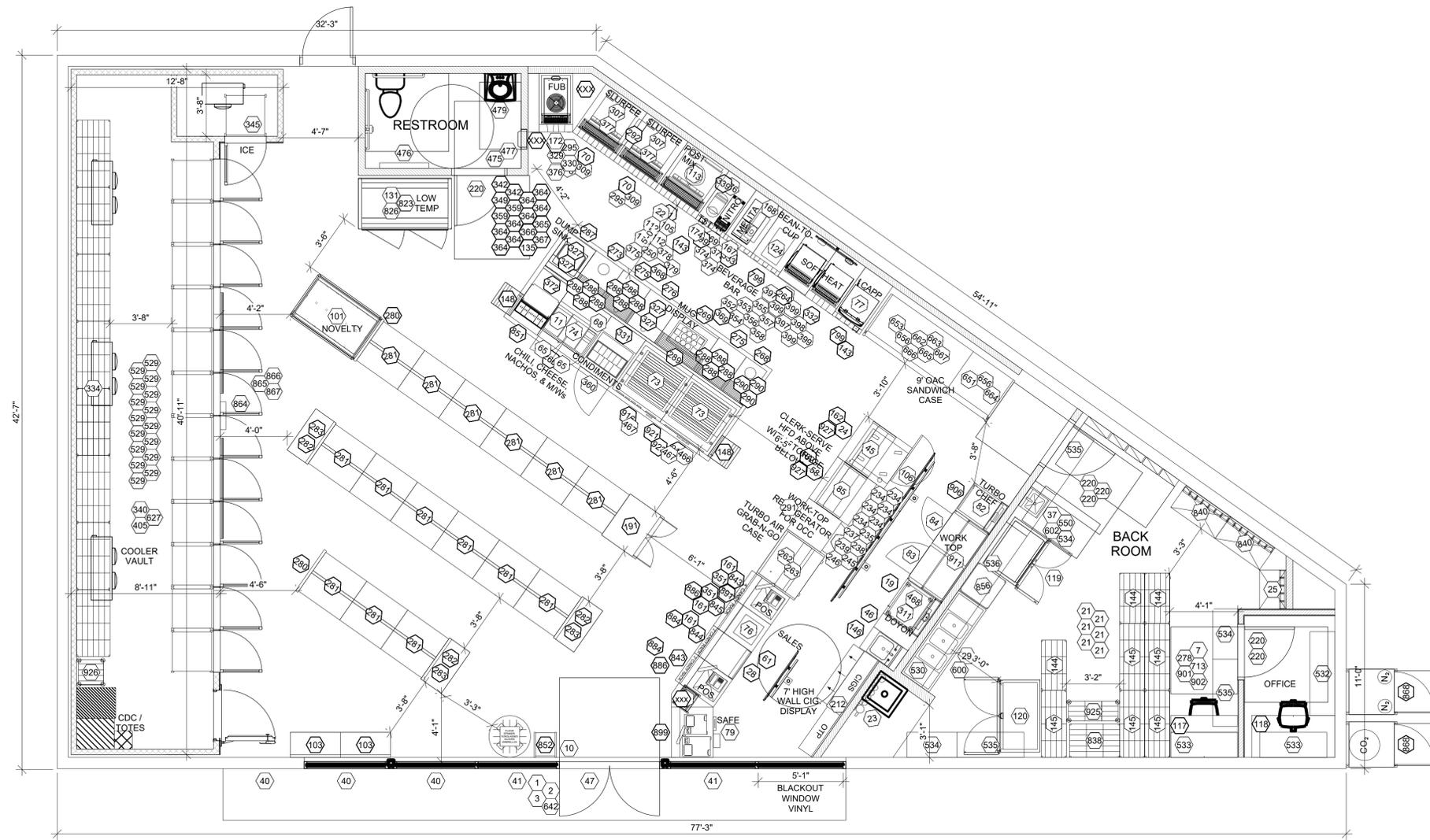
14 IRRIGATION WIRING JUNCTION BOX
SCALE: N.T.S.

- NOTES:
1. FOR WIRE SIZES NO. 14, 12, AND 10, ALL CONNECTIONS IN VALVE BOXES ONLY.
 2. INSTALL SPEARS DS-100 DRI-SPLICE CONNECTORS WITH DS-300 SEALANT.



15 IRRIGATION WIRE CONNECTION
SCALE: N.T.S.

DESCRIPTION	DATE
IRRIGATION PLAN	
7-ELEVEN	
215 South State Street Salt Lake City, UT 84111 Tel. No. (888) 212-3176	
Kimley»Horn	
7269 S UNION PARK AVENUE COTTONWOOD HEIGHTS, UTAH	
DRAWN BY: RAS	6/07/2019
DESIGNED BY: RAS	6/07/2019
CHECKED BY: ASD	6/07/2019
PROJECT No.: 093600001	SCALE: AS SHOWN
SHEET L2.30	



OCCUPANCY CALCULATION			
MERCHANDISE	1365 SF	/ 30	= 46 PEOPLE
KITCHEN / SALES	278 SF	/ 200	= 2 PEOPLE
STORAGE/ BACK ROOM	784 SF	/ 300	= 3 PEOPLE
OFFICE	62 SF	/ 100	= 1 PERSON
RESTROOM	91 SF	/ N/A	= 0 PEOPLE
TOTAL			= 52 PEOPLE

LAYOUT INFORMATION

ROLLER GRILLS	2 (SELF-SERVE)
SANDWICH CASE	9'
VAULT DOORS	12
LOW TEMP DOORS	2
ICE MERCH. DOORS	1
NOVELTY CASE	1 (SM)
BAKERY CASE	1 (LG)
SLURPEE BARRELS	8
GONDOLA UNITS (60"H)	30
END CAPS (60"H)	03
POWER WINGS	(00) - NOT IN TOTAL
LOW WALLS (36"H)	02
HIGH WALLS (72"H)	00
TOTAL	35

TOTAL SQ FT = 2,580 SF
 SALES FLOOR AREA = 1,643 SF

GAS: YES LIQUOR: NO
 BEER: YES WINE: YES

OCCUPANCY LOAD (>49) = 52
 TRAVEL DISTANCE (<200) = 68'
 COMMON PATH OF TRAVEL (<75) = 68'
 RESTROOMS REQUIRED = 1
 EXITS REQUIRED = 2

OVERHEAD SHELVES = 40 FT
 FLOOR SHELVES = 37 FT

WALL TYPE LEGEND

EXTERIOR WALL	
COLUMN	
INTERIOR WALL	
PARTIAL HEIGHT WALL	
COOLER WALL	

01 PROPOSED FLOOR PLAN
 1/4" = 1'-0"



PLAN NORTH

Description

Date

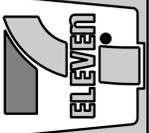
Rev. #

PROTO 02.28.2019

7-ELEVEN, INC.
 3200 HACKBERRY ROAD, IRVING, TEXAS 75063

7-ELEVEN #38848
 UNION PARK AVE @ S CREEK RD
 COTTONWOOD HEIGHTS, UT

PROPOSED FLOOR PLAN



Job#: C9-056

Scale: AS NOTED

Date: 06.05.2019

Drawn By: AG

Checked By: TK

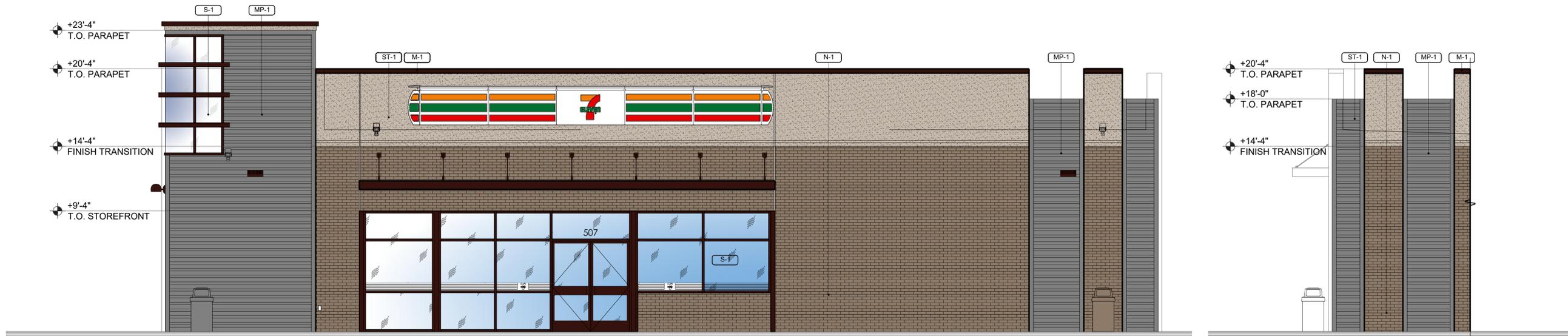
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06.04.2019

SHEET:

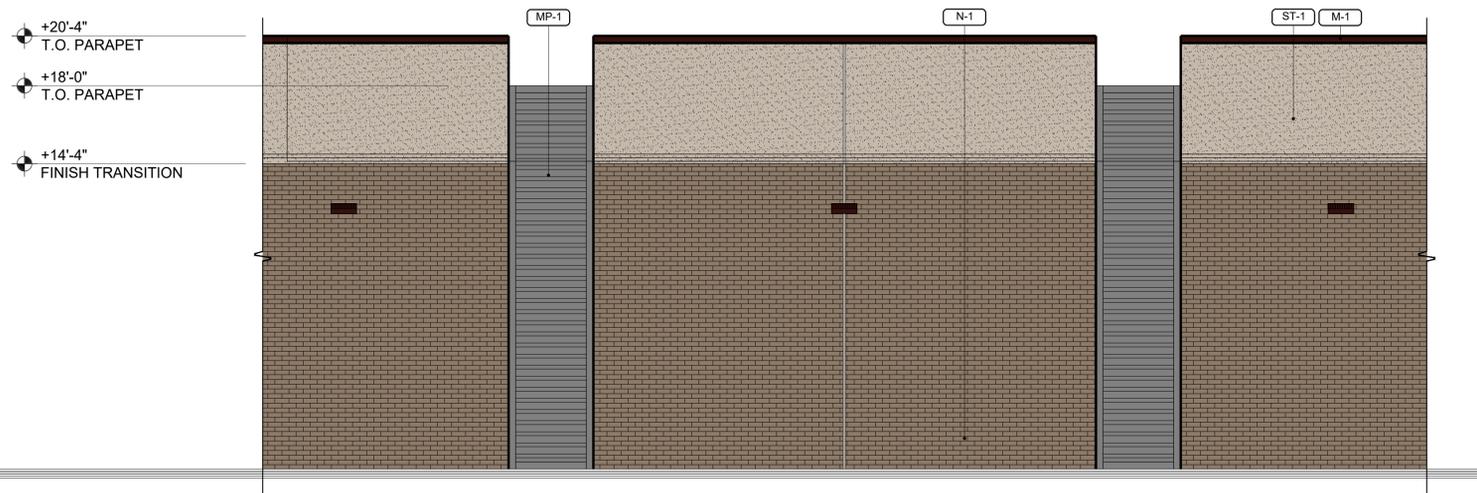
A2.0

NON-PROTO

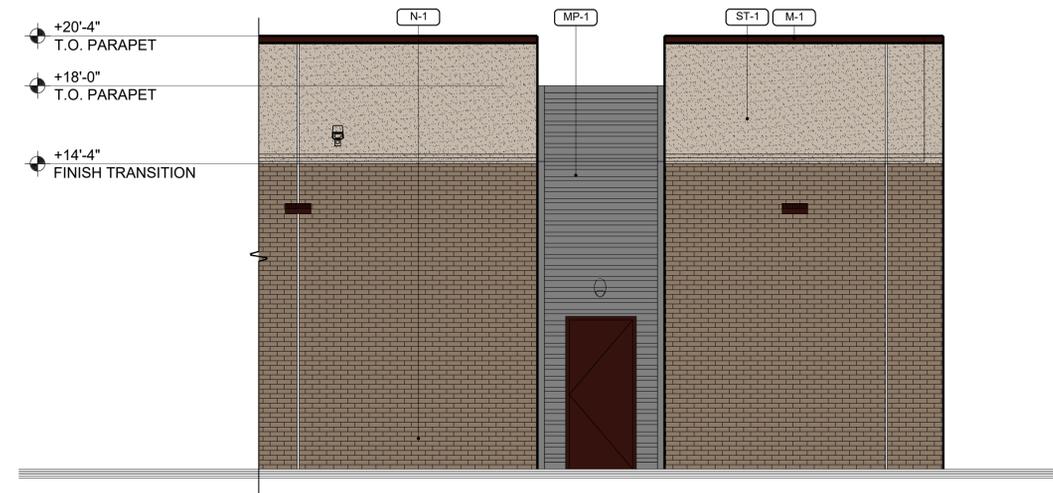


05 FRONT ELEVATION
1/4" = 1'-0"

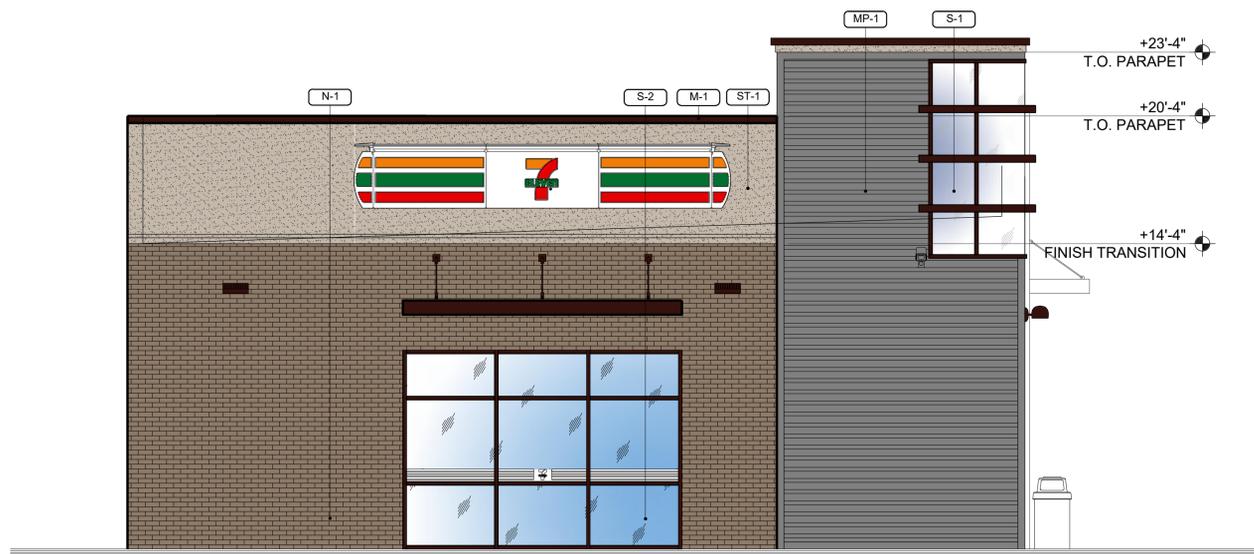
04 SIDE ELEVATION
1/4" = 1'-0"



03 REAR ELEVATION
1/4" = 1'-0"



02 REAR ELEVATION
1/4" = 1'-0"



01 SIDE ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

NOTE: SEALANT COLORS: MATCH COLOR OF ADJACENT MATERIAL BEING SEALED - WHEN 2 OR MORE COLORS ARE ADJACENT, MATCH LIGHTER-COLORED MATERIAL.

FINISH	MATERIAL	PATTERN
M-1	24 GAUGE GALV. SHEET METAL COPING CAP. SLOPE 1/2" PER FOOT. PRE-FINISHED TO MATCH CANOPIES AND OTHER METAL WORKS (SW 7048 "URBANE BRONZE") - OR SIMILAR	
P-1	PRE-FINISHED SHEET METAL DOWNSPOUT SYSTEM AND PRE-FABRICATED AWNINGS TO MATCH CANOPIES AND OTHER METAL WORKS (SW 7048 "URBANE BRONZE") - OR SIMILAR	
N-1	ACME (OR EQUAL) - MODULAR BRICK - "MUSHROOM BROWN" - OR SIMILAR	
N-2	SPLIT-FACE CMU BLOCK WAINSCOT - LIGHT TAN	
ST-1	DRYVIT (OR EQUAL) - EIFS - "SW 9173 SHIITAKE"	
S-1/S-2	S-1: KAWNEER, "DARK BRONZE" ALUMINUM STOREFRONT FRAME - 1" INSULATED CLEAR GLAZING BY OLDCASTLE OR EQUAL - OR SIMILAR. S-2: FAUX STOREFRONT TO MATCH S-1.	
MP-1	BERRIDGE - HR-16 METAL WALL PANELS - "BUCKSKIN"	

Rev. #	Date	Description

PROTO 02.28.2019

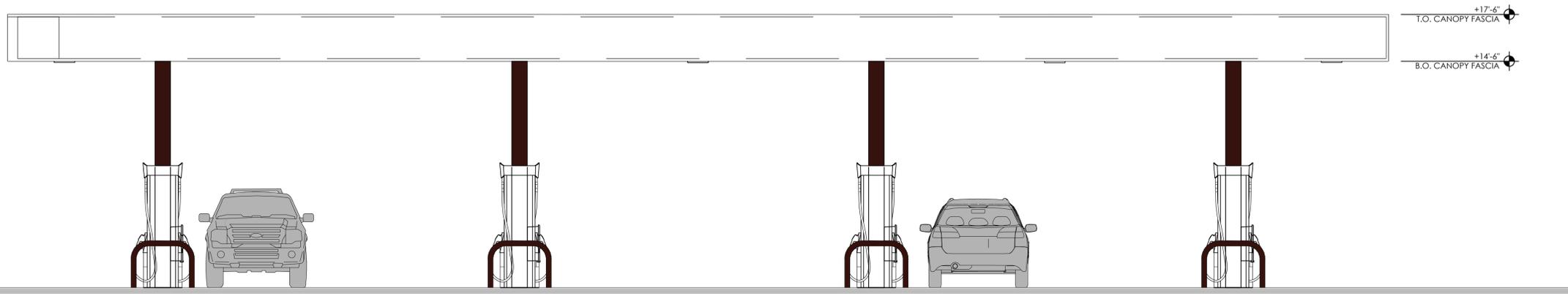
7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TEXAS 75063
7-ELEVEN #38848
UNION PARK AVE @ S CREEK RD
COTTONWOOD HEIGHTS, UT
EXTERIOR ELEVATIONS



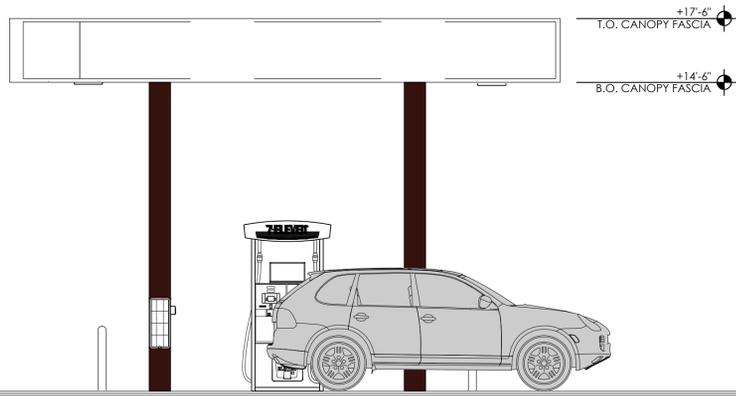
Job#: C9-056
Scale: AS NOTED
Date: 06.05.2019
Drawn By: AG
Checked By: TK

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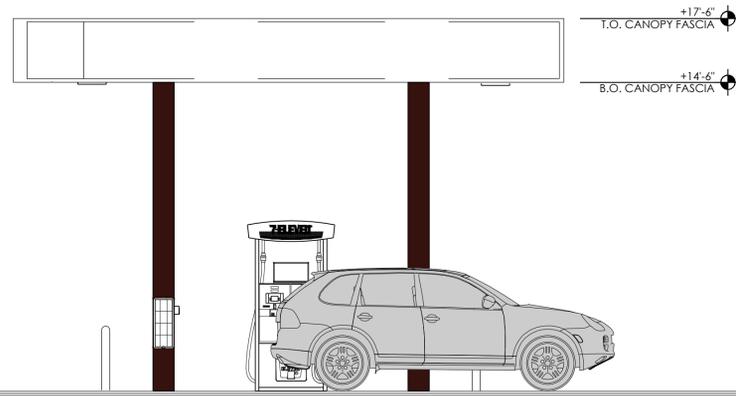
06.04.2019
SHEET: **A3.0**
NON-PROTO



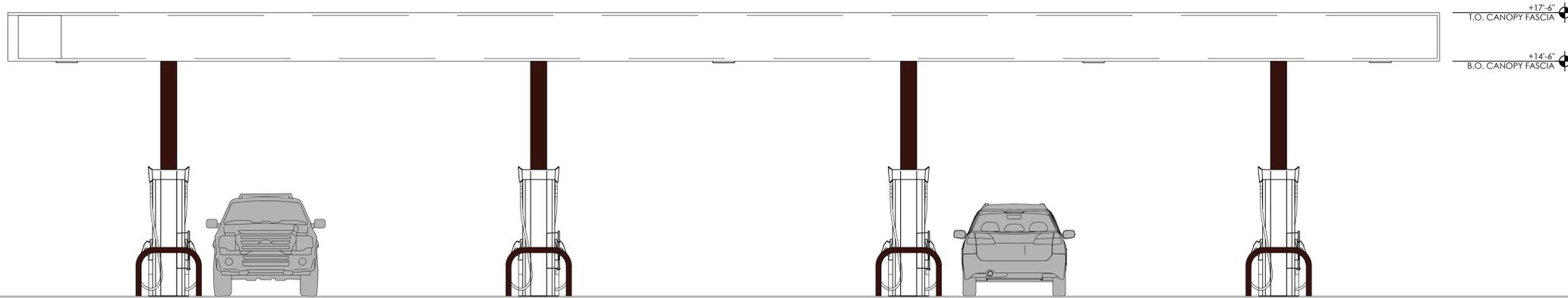
04 CANOPY ELEVATION
1/4" = 1'-0"



03 CANOPY ELEVATION
1/4" = 1'-0"



03 CANOPY ELEVATION
1/4" = 1'-0"



04 CANOPY ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

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FINISH	MATERIAL	PATTERN
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MP-1	BERRIDGE - HR-16 METAL WALL PANELS - "BUCKSKIN"	

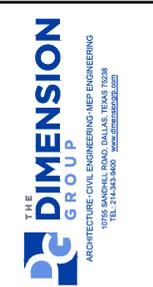
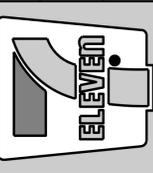
Rev. #	Date	Description

PROTO 02.28.2019

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TEXAS 75063

7-ELEVEN #38848
UNION PARK AVE @ S CREEK RD
COTTONWOOD HEIGHTS, UT

EXTERIOR ELEVATIONS



Job#: C9-056
Scale: AS NOTED
Date: 06.05.2019
Drawn By: AG
Checked By: TK

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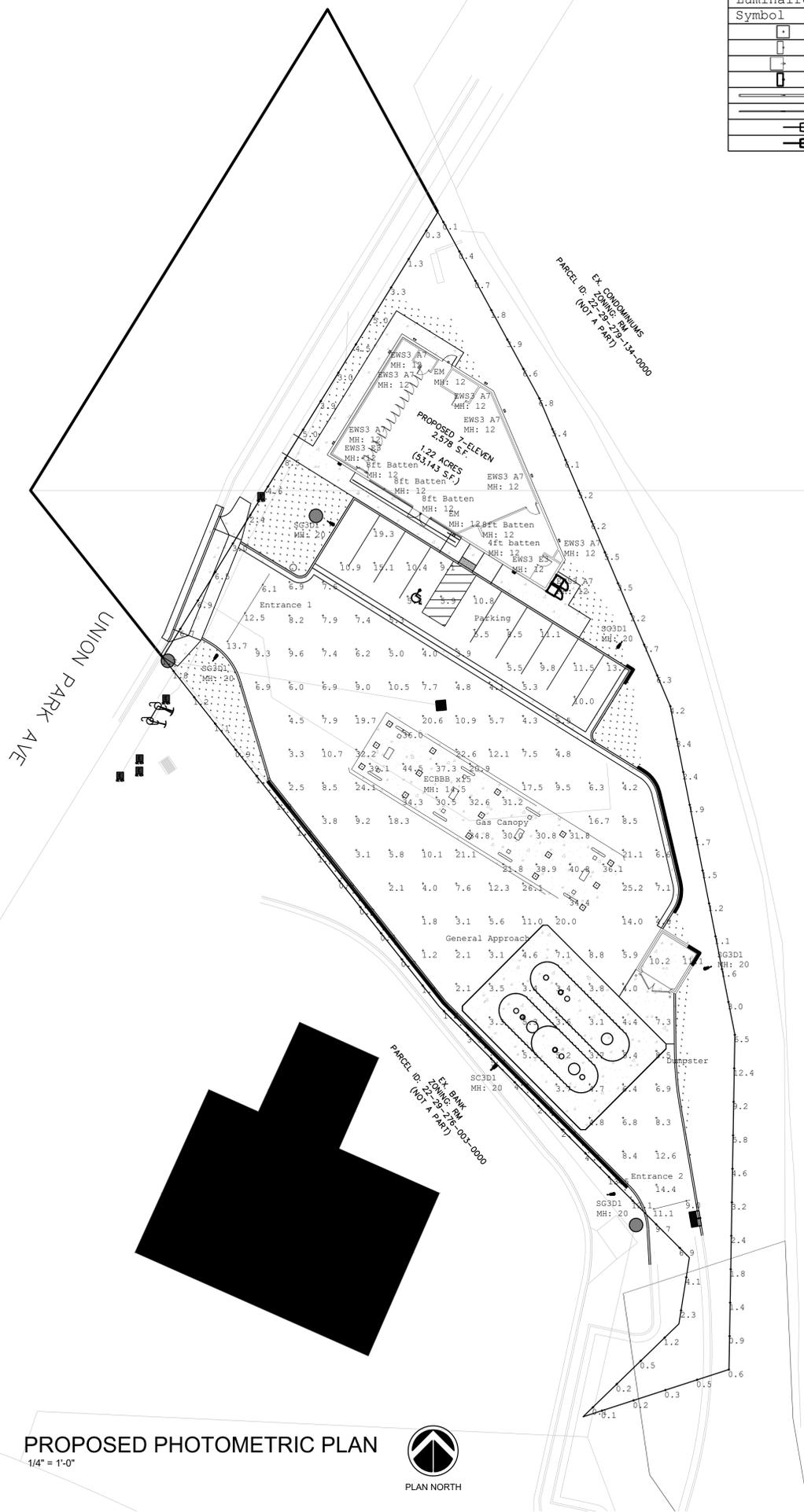
06.04.2019

SHEET: **A3.1**

NON-PROTO

PRINTED BY: TKINDE
DRAWING NAME: _SEL_XA-ELEVATIONS_NEEDS UPDATING.DWG
PRINT DATE: Jun 04, 2019 - 2:43am

01 PROPOSED PHOTOMETRIC PLAN
1/4" = 1'-0"



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Watts	Arr. Lum. Lumens
	15	ECBBB	SINGLE	1.000	ECBB0B5F5501AWHTE	64	8110
	8	EWS3 A7	SINGLE	1.000	EWS3 A7D150 -120-277V	25	2900
	2	EM	SINGLE	0.010	LEDPRS-BR-CL (Phillips)	20	32
	2	EWS3 E3	SINGLE	1.000	EWS3 E3D150	90	8600
	1	4ft batten	SINGLE	1.000	GE 48 4100K Batten Strip GEWI104841BAT-SY	16.68	1536
	4	8ft Batten	SINGLE	1.000	GE 96 4100K Batten Strip GEWI109641BAT-SY	33	3073
	5	SG3D1	SINGLE	1.000	1-ERS2-0-G3-D1-1-50-1- Color	257	19900
	1	SC3D1	SINGLE	1.000	1-ERS1-0-C3-D1-7-50-1- Color	95	8500

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Canopy	Illuminance	Fc	33.66	44.5	20.9	1.61	2.13
Dumpster	Illuminance	Fc	10.65	11.1	10.2	1.04	1.09
Entrance 1	Illuminance	Fc	10.77	13.7	6.1	1.77	2.25
Entrance 2	Illuminance	Fc	10.05	11.1	9.0	1.12	1.23
General Approach	Illuminance	Fc	8.40	32.2	1.2	7.00	26.83
Parking	Illuminance	Fc	10.18	19.3	5.5	1.85	3.51
Property Line	Illuminance	Fc	3.41	13.5	0.1	34.10	135.00

GE Evolve™ LED Roadway Lighting
ERL1-ERLH-ERL2

Evolve™ LED Area Light
Scalable Wall Pack [EWS3]

current powered by GE

Batten LED Luminaire

Utility Lighting and More.

More Lighting Performance

More Savings on Installation and Operation

GE Evolve™ LED Area Lighting
Canopy Light (ECBB)

current powered by GE

Job#: C9-056
Scale: AS NOTED
Date: 06.05.2019
Drawn By: AG
Checked By: TK

High-Lites
Plurix Series Wet Location LED Emergency Lighting Units

ORDERING INFORMATION

Model Number: LEDPR5

Product Features:

- Self-Diagnostic Operation
- Plus High-Output LED Lamp!
- Wet Location Rating
- 100% LED
- 100% LED
- 100% LED

Specifications:

Dimensions:

PHILIPS

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TEXAS 75063
7-ELEVEN #38848
UNION PARK AVE @ S CREEK RD
COTTONWOOD HEIGHTS, UT
PROPOSED FLOOR PLAN

Rev. #
Date
Description

PROTO 02.28.2019

THE DIMENSION GROUP
ARCHITECTURE-CIVIL ENGINEERING-MEP ENGINEERING
TEL: 714.943.3400 FAX: 714.943.3200

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06.04.2019

SHEET: **E1.0**
NON-PROTO



MEMORANDUM

To: CH Architectural Review Commission (ARC)
From: Matt Taylor, Senior Planner
Date: June 27, 2019
Subject: Block 17 – 24 Townhomes - Project SPL-19-007

REQUEST

An application has been made by John Prince for consideration of a Certificate of Design Compliance for site plan approval for a 24-unit townhome development at approximately 1700 E Fort Union Blvd within the MU (Mixed-Use) zone. The units are proposed to be live-work units.



The applicant has submitted proposed building elevations, landscaping plan, and building material samples (see Attachment “B” and “C”).

APPROVAL PROCESS

Staff has completed the first review of this project for zoning compliance and has delivered a list of outstanding issues to the applicant (see attachment “E”). Many of these review comments will affect the final layout and design of the project. Additionally, there are many design guideline criteria that warrant ARC consideration and possible modification. Therefore, staff does not feel that the ARC is in a position to approve the site plan at this meeting. Staff encourages the ARC to provide detailed feedback and continue the item to a future agenda.

Gateway Overlay District

The project is within the Gateway Overlay District and requires the ARC to issue a certificate of design compliance (see 19.49.080 CH City Code). In considering approval of the certificate, the ARC should consider the general review criteria:

D. General review criteria. The ARC must determine that the following general review criteria are met before issuing a certificate of design compliance for a project:

1) *The proposed work must comply with the applicable design guidelines for that overlay district;*

...

4) *The overall character of the Gateway Overlay District is protected.*

CITY DESIGN GUIDELINES

All applicable design guidelines are found in attachment “F”. The proposed project is in substantial compliance with many of the guidelines. Highlighted guidelines are generally covered in the below staff analysis.

ENTRANCES

Design Guideline 1.3: Entrances Should Be The Prominent Features Of The Ground Floor

Commentary: The Mixed-Use (MU) states that its purpose is to *“provide areas in the city for a mix of uses, including mixed-use developments with commercial, institutional, office and service uses apportioned on-site in a manner sensitive to the street environment and adjacent uses; to support an urban village where amenities are focused on a local main street.”* (19.36.010 CH Code).

The MU zone allows for residential development only with a non-residential use as part of the development. Where the applicant has stated that the non-residential aspect of this project intends to be a “work” or commercial component for “live-work” units. This is problematic as the initial applicant proposal is that only three of the units actually be “live-work” units. Such limited scope does not meet the intent of the zone, or meet the goals of the Fort Union Blvd Corridor Study.

Recommendation:

- 1) Staff will be recommending to the Planning Commission that all “B” units are planned as “live-work” units (as the zoning will allow future owners to do this regardless of the applicant’s intent).
- 2) As such, we recommend that the ARC consider requiring design that reinforces that the main floor of each “live-work” unit has a commercial/office intent. To clearly articulate and communicate a non-residential commercial or office type of architecture on the main floor, staff recommends, that each “B” unit facing Fort Union Blvd is modified, as follows:

- a) Implement appropriate recommendations of Design Guideline 1.6: *“To make entrances stand out, implement at least two articulation techniques, such as: clerestories, oversized doors, windows flanking doors, ornamental lighting, decorative stone/masonry, a pedestrian area with seating, public art, or landscaping.”*
- b) Units should not have sliding glass patio doors but rather a window proportionally sized to that of what is found in a mixed-use retail/residential building type.
- c) A typical signage plan should be considered and approved by the ARC. This plan should be required to be incorporated into CC&Rs for the HOA. The signage plan should articulate the types of signs, materials, dimensions, and scale that each Unit B is permitted to have for their office use.

FOUR-SIDED DESIGN

Design Guideline 4.4: Buildings Should Not Have Any Blank, Flat Walls.

Commentary: The side elevations of each façade is largely blank (particularly the bottom level) although this is anticipated to change with required minimum glazing requirements in the MU zone: *“All buildings shall have a minimum of 15% transparency on all floors, which shall consist of windows that provide visibility from the public right-of-way or adjacent property”* (19.36.150 CH Code).

Recommendation: In addition to meeting the minimum transparency standards above, Staff recommends that the ARC require a design that *“adequately establish a prominent, pedestrian-oriented streetscape”* and *“to support an urban village.”* (19.36 CH Code)

ELEMENTS AND ARTICULATION

Design Guideline 7.2: Every Forty (40) Feet Of Horizontal Façade Should Be Broken Up By Building Articulation.

Commentary: Each “B” unit constitutes 14.5 feet of articulated horizontal space. However, articulation repetitive. The main floor has a lower degree of articulation.

Recommendation: Staff believes that the articulation between units on the main floor should be enhanced as previously discussed in Design Guideline 1.3. (see p. 2).

Design Guideline 7.7: Use Elements Such As Lighting, Dormers, Gables, Parapets, and Cornices To Create Visual Interest And Distinction Between Buildings.

Commentary: The proposed architecture is modern, and the architectural language of dormers and gables usually doesn’t work with that style. However, cornices have and can be effectively applied. The ARC may be aware of other elements that *“create visual interest and distinction between buildings”* for a modern architecture approach. The ARC has permitted an *art moderne* style building with a cornice feature (Felt Dental at 6800 S Highland).



Figure 1 - Felt Dental Building - Illustrating Cornice Feature of Modern Building Design

Recommendation: Staff recommends that the ARC determine carefully consider this design guideline and determine how to best apply it to this proposal.

Design Guideline 7.5: Building Design Should Generally Be More Detailed At Ground Level.

Commentary: This topic has largely been addressed under Design Guidelines 1.3.

Recommendation: Staff recommends that the ARC visit the details of the ground floor elevation and ask the architect to include additional details that assist in the goals of the MU zone to “adequately establish a prominent, pedestrian-oriented streetscape” and “to support an urban village” (19.35 CH Code).

ROOFS

Design Guideline 8.2: All Parapets Should Feature Cornice Treatments.

Commentary: It is not uncommon to for modern architecture to forego cornices on the top of parapet walls (which this project has). However, simple cornices can be applied to modern style architecture:



Figure 2= Examples of modern cornice interpretations

The proposed shade wall/canopy may also substitute as a modern interpretation for the cornice.

Recommendation: Staff recommends that the ARC carefully look at this design guideline.

Design Guideline 8.4: Long, Continuous Parapets of Forty (40) or More Feet Should Include Varying Heights.

Commentary: The proposal has one continuous parapet of uniform height. Unless the architecture of units varies in groups of three, then this standard shouldn't apply.

Recommendation: Staff recommends that this guideline be waived unless the ARC requires the architecture to vary more between groupings of units. If the ARC expresses interest in moving away from one unit design type along Fort Union Blvd, then this design standard should be considered to be included in any new proposal.

Design Guideline 8.6: Elements Such As Dormers, Gables, Stepped Roofs, Etc. are Recommended to Break Up Expansive Stretches of Roofing.

Commentary: The proposed modern design does not lend itself necessarily to dormers and gables. Stepped roofs to break up the expansive stretch of roof along Fort Union does have tradition in the *art moderne* movement and could be incorporated into this project. The building is broken up with horizontal step back for half the units along Fort Union Blvd, which may be viewed as meeting the intent of this design guideline.



Figure 3 - An example of an Art Moderne style building with stepped roof and articulated facades.

However, one difficulty is the Fire Code height limitations for fire truck aerial access and therefore limited to 30 feet. The site layout would need to accommodate another 6 feet on the internal access to allow these buildings to go any higher than the current 30 feet at which they are planned for.

Recommendation: If the ARC feels that the long façade creates a monotonous condition, then staff would recommend applying vertical step back elements to the project.

Design Guideline 8.9: Exposed Gutters Are Prohibited on Building with Flat Roofs.

Design Guideline 8.10: External Downspouts Are Discouraged.

Commentary: Insufficient building details have been provided to demonstrate compliance with this design review standards.

Recommendation: The ARC should require details addressing this standard to be provided.

BUILDING-MOUNTED AND CANOPY LIGHTING

Design Guideline 9.1 – 9.11: Building-Mounted and Canopy Lighting

Design Guidelines 26: Site Lighting

Design Guideline 27.9: Parking Lot Landscaping

Commentary: Lighting plans and details have not been provided for review.

Recommendation: Staff recommends that the ARC continue this item until a lighting plan that sufficiently addresses these guidelines is submitted.

BUILDING MATERIALS

Design Guideline 12.5: Openings (Doors or Windows) in a Brick or Stone Façade Should Have a Lintel, Arch, or Soldier Course.

Commentary: Traditionally, the *art moderne*, *art deco*, *international*, and *modern* styles of architecture have not utilized lintels, courses, or archs over windows and doors.

Recommendation: It is recommended by staff that this standard does not apply.

Design Guideline 12.7: Horizontal Change From Brick or Stone to Another Material Must Be Done Using a Stone Cap or Brick Sill That Protrudes From the Face Of The Building.

Commentary: Traditionally, the *art moderne*, *art deco*, *international*, and *modern* styles of architecture have not cap sill between materials.

Recommendation: Staff recommends that the ARC consider requiring a brick cap between the first and second story of each unit to help in each unit's articulation.

BUILDING COLOR

Design Guideline 13.4: Use Earth Tones and Natural Colors that Complement Each Other.

Commentary: The proposal relies on greys with white and black accents for the majority of the façade. Wood siding is used as a significant architectural accent. The wood may be considered an earth tone, but overall the buildings are not completely comprised of earth tones.

Grey colors and earth tones have been approved in various Gateway Overlay District projects.



Figure 4 - Examples of Various Gateway District Project That Have Been Approved.

Recommendation: The earth tone requirement is a significant component to many Gateway Overlay Zone projects. Staff recommends that these tones be included as a primary color choice for the project, and incorporated into the project in a way that complements the architectural design theme of the project.

Landscaping and Streetscape

Design Guideline 17.1: Plazas, Courtyards, Pocket Parks, Outdoor Cafes, Etc. Should Be Designed in an Inviting Manner That Encourages Pedestrian Use Through the Incorporation of Elements Such as Trellises, Fountains, Art, Seating, and Shade Trees.

Design Guideline 27.10: Landscaping Should Be Used To Partially Screen the Ground-Level View of a Parking Lot From Major Right-of-Ways and Adjacent Sidewalks.

Commentary: Because of the powerlines, the trees as showed on the renderings are anticipated to not be allowed. The preliminary landscaping plan identifies the front yard area to be primarily landscaped in lawn, medium shrubs and ornamental grasses.

It is important to highly consider how the front yard portion of this project is developed *“to support an urban village where amenities are focused on a local main street.”*

Recommendation: Staff does not have specific recommendations on how this space is developed, but ask the ARC to pay careful attention the design of this area. As for the lack of trees, perhaps some columnar trees close to the building and out of the setback provisions of the adjacent power lines could be considered.

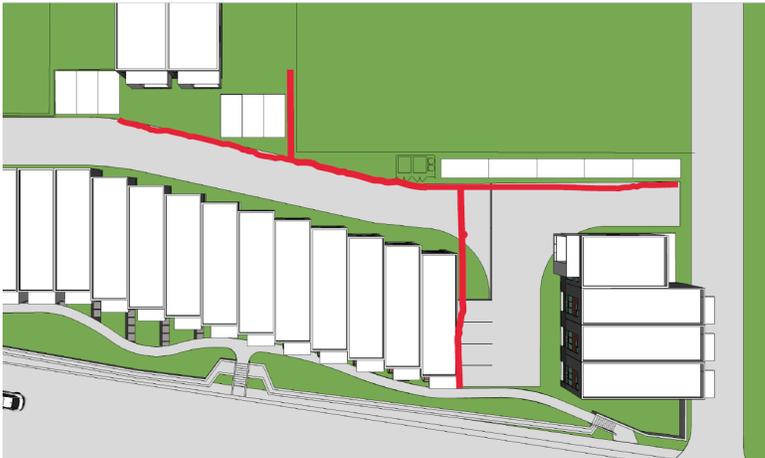
Design Guideline 17.2 and 17.6: Crosswalks Should be Distinctly Marked for Pedestrians, and Constructed Out of Different Hard Material than the Rest of the Street, Include Trees Along Pedestrian Walkways Where Possible.

Design Guideline 28.16: Vehicular Curb Overhang Must Not Obstruct Any Pedestrian Walkway.

Design Guideline 28.17: Provide a Hardscape Material or Brick Paver for any Walkways That Intersect a Vehicular Access Drive.

Commentary: Staff provided the following comment as part of the initial site plan review: Please design an internal walkway system that connects the south units to the walkway on Fort Union and Units and ADA stalls along Fort Union to the play area near the south units. This walkway or path should be in a delineated colored concrete or other differing hard surface from the concrete roadway in order to provide clear and enduring guidance for visitors of live-work units. 19.80.040. Pedestrian walkways shall be lighted. See 19.36.090.B & 19.80.090.C. & Design Guidelines.

Recommendation: Staff recommends that an internal circulation system is constructed as required by code and that the pathway is designed per the design guideline stating that it “should be distinctly marked for pedestrians, and constructed out of different hard material than the rest of the street...” and “include trees along all pedestrian walkways where possible.” One potential pathway could be as follows:



Design Guidelines 17.3, 17.14, 17.15, 17.17, 17.18, 17.19: Landscape and Streetscape

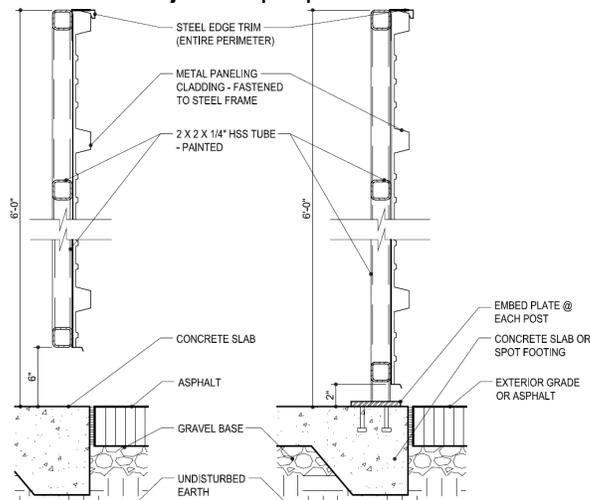
Commentary: The site landscaping plan is not specific enough to determined compliance with the above design standards.

Recommendation: Staff recommends that a detailed landscaping plan be submitting showing substantial compliance with all landscape design standards for review and approval by the ARC>

MECHANICAL, TRASH, AND UTILITY SCREENING

Design Guidelines 19.3, 19.4, 19.11, 19.13: No Equipment Shall Be Visible From Ground Level. Screen Walls Should be of Similar Materials and Finishes as Primary Buildings.... Chain-Link Gates Or Fences Are Prohibited For Screening Materials.... Pedestrian Gates, In Addition to Truck Access to Trash Enclosures, Should be Provided.

Commentary: The proposed trash enclosure does not comply with the above standard:



Proposed Enclosure

Recommendation: Staff recommends the ARC provide guidance relative to their expectations for the design of the trash enclosure.

SIGN PLAN

Signage plan. The planning commission shall approve an overall signage plan during the site plan approval process. All information to be provided for the sign approval may be submitted concurrently with site plan application materials, but is not required. See 19.87.060.C.11

Commentary: Design Review Guidelines 22 – Signs outline the goals for signage in the Gateway Overlay District. Signage should be planned for the live/work units. Staff has asked the applicant to provide a typical signage plan for a live/work business that includes a wall sign not exceeding ten percent of the bottom floor wall area. The sign plan could include a plan how to face the door window or balcony edge with signage. The outcome should be that these live work units are viable business opportunities in order to qualify as a mixed-use residential development.

Recommendation: Staff Recommends that a typical signage plan is approved by the ARC for all live-work units. That signage following the approved signage plan will not be required to return to the ARC for approval, but that only a building permit is obtained.

PARKING

Design Guideline 27.2: Parking Should Be Located Behind Buildings When Possible.

Recommendation: The 1-2 parking spaces in the front yard should be considered for elimination.

Design Guideline 28.3: Parking Lots Should Provide Areas for Bicycle... Parking.

Recommendation: Bicycle parking should be planned for in the development. A rack in a publicly accessible location close to live-work units.

FORT UNION BOULEVARD CORRIDOR PLAN

The city has adopted a Fort Union Boulevard Corridor Plan. It may be helpful to understand relevant goals of the project as they relate to this project. These have been included in Appendix "A".

RECOMMENDATION: Continuance

There are several design standard which this project does not seem to be compliant with at this time. Staff recommends that the ARC review the proposal and judge it per the criteria cited above and per the City's Design Review criteria. Staff recommends that ARC provide preliminary feedback and continue this item to the Staff site plan review notes, and ARC feedback is addressed.

If the proposal is found to be satisfactory, staff recommends that the ARC issue a Certificate of Design Compliance.

MODEL MOTIONS

Continue

I move to continue Project SPL-19-007 to the next regularly scheduled ARC meeting.

Approval

I move to issue a Certificate of Design Compliance for Project SPL-19-007

- Add any conditions of approval...dddd
- A. Project Narrative
- B. Plan Submittal (site plan, landscape plan, building elevations, etc.)
- C. Project Materials
- D. Staff Zoning Requirements Review
- E. Design Guideline Reviews (concerns in highlighted yellow).

Fort Union Blvd. Corridor Master Plan

Applicable Policies

Please review pages 66-75 of the Fort Union Master Plan as they relate the design of this project:
[http://www.cottonwoodheights.utah.gov/UserFiles/Servers/Server_109694/File/268%20\(Adopting%20a%20Fort%20Union%20Area%20Master%20Plan%20Element%20of%20the%20City's%20General%20Plan\).pdf](http://www.cottonwoodheights.utah.gov/UserFiles/Servers/Server_109694/File/268%20(Adopting%20a%20Fort%20Union%20Area%20Master%20Plan%20Element%20of%20the%20City's%20General%20Plan).pdf)

Particular mention is provided to these objectives and policies:

2. Goal: Increase the Economic Viability of the Fort Union Corridor Area: A primary objective of the Fort Union Area Plan is to provide support for new investment and reinvestment in the area and to demonstrate viable economic opportunities. An aggressive reinvestment strategy is needed for the Fort Union area to make it a healthy community that can retain and attract residents and businesses. If the area declines, it is likely to suffer from economic stagnation, deferred maintenance, limited access to new capital and a shortage of shopping, recreational and work opportunities, thus negatively affecting the City's tax base.

2.3 Objective: Promote businesses that offer goods and services to current and future City residents and the traveling public;

3. Goal: Create a Balanced Mixture of Land Uses in the Area: The Fort Union Corridor should develop as a unique mixed-use, retail, service, cultural, civic and residential hub to serve the citizens of the City and region, and should encourage a variety of mixed land uses which will be aesthetically pleasing and add long-term economic benefit to the community. The long-term health of the Plan area will require a well-balanced mixture of land uses consisting of a full range of housing types, recreational and open space opportunities, services, shopping, entertainment and places of work. These will be designed and organized around a mixed-use, pedestrian-oriented center that serves as the "City center" for the Fort Union Corridor and Cottonwood Heights.

3.1 Objective: Encourage a mixture of land uses throughout the Plan area, including mixed uses, retail, office, residential, and open space;

3.1.1 Policy: Permit the flexibility of office and/or residential uses for opportunity areas.

3.1.4 Policy: Retail Uses- • Develop standards for retail storefronts and signage. • Encourage opportunities for live-work and comparable ground floor uses. • Encourage neighborhood-serving retail uses, including the potential provision of a grocery store within neighborhoods.

5. Goal: Improve Aesthetic Quality: Maintain Cottonwood Heights' high quality of life by providing for the protection of open space throughout the community and proactively protecting and enhancing the community's natural assets and environmental features. The appearance of properties impacts the area's desirability. The Plan should ensure that Cottonwood Heights' community charm, heritage and scenic landscapes are preserved for future generations, and should improve the aesthetic quality of the Plan Area's built environment, including commercial properties, office parks, multifamily properties, and single family neighborhoods. 5.1 Objective: Focus on corridor aesthetics and experiences; 5.2 Objective: Preserve and enhance the City's existing sense of place and community; 5.3 Objective: Potential site

design review for non-residential buildings, unless clear and objective design standards are adopted as part of the detailed master Plan for a particular Sub-area.

5.1.1 Policy: Urban Design – • Require the street hierarchy to define space and differentiate the character of streets and neighborhoods. • **Require streets to emphasize the pedestrian and bicycles.** • **Integrate small and large-scale public art** which considers the history of the area, as well as thematic, artistic, and cultural ideas into new development and the public realm, including the following areas: trails, transit infrastructure, open spaces, buildings, site furnishings, lighting, gateways, and wayfinding • Allow for internal pedestrian connections. • Improve and enhance the Fort Union frontage with streetscape improvements, buildings, and landscaping.

5.1.2 Policy: Gateways – • Require variety in building massing, design, and height. • Use heights and variety in heights, building materials, orientation, and dimensions to create distinctive building tops for multi-story buildings. • Provide distinctive building forms and architecture at the designated gateway locations • Balance the aesthetic and functional criteria of sustainable design. • Adopt future design guidelines to implement the public art and history 2016 Fort Union Local Area Plan 72 • The final design and configuration of the streets, buildings, and open space with the PDD zoning will be determined through the development review process. The final configuration of the streets, buildings, and open space shall be subject to the following: • The shape of the buildings in Plan and form within the corridor shall create distinct and memorable three dimensional forms. • **Buildings on Fort Union shall be required to provide a primary entrance facing Fort Union.** • Area buildings shall be subject to the minimum height and density provisions and other applicable zoning provisions, design guidelines, and the Fort Union Area Plan. • The streets shall be configured to accommodate current and future transit and transit stations. • Buildings should be designed to integrate transit stops.

9. Goal: Create a ‘Main Street’ Character: The Fort Union Main Area Plan seeks to actively follow the City’s previously approved General Plan Design Guidelines by creating a City center-style character of streets, sidewalks, buildings, landscaping, public art, medians and open spaces. Buildings will face the street and provide a continuous ‘edge’ with on-street parking in front (in certain areas) and surface or deck parking in the rear (i.e., away from view of the public right-of-way). **Furthermore, buildings are designed for smaller retail tenants (rather than large national chains) to enhance the ‘storefront’ character typical of traditional main streets. Street trees and character enhancing landscaping will be planted in specific areas to complement the design and functionality of new development.**

9.1 Objective: Help the area become a model of what a “Town Center” district could be;

9.1.1 Policy: Encourage pedestrian-oriented, mixed-use development to foster the creation of a true “main street” environment.

9.1.2 Policy: Ensure that design proposals are high quality and conform to form-based design guidelines to create a sense of place and a unique character for Fort Union Main Street.

9.1.3 Policy: Ensure that development in Fort Union Main Street does not adversely impact the character of existing residential neighborhoods.

Written Narrative

Block 17

1. Conditional Use:
 - a. 24 Townhomes, 3 Stories
2. Architect and Engineer Information
 - a. Pierre Langué, Axis Architects
 - i. 801-864-8642
 - ii. 927 South State Street Salt Lake City, UT 84111
 - b. Guy Williams, Great Basin Engineering
 - i. 213-500-5936
 - ii. 5746 S 1475 E Ogden, UT 84403
3. General Plan and Zoning Compliance Statement
 - a. Fort Union General Plan Paragraph
 - i. “The Fort Union Boulevard Area is comprised of active centers along the corridor that connects residents, employees and visitors with the area ski resorts, regional businesses, downtown Salt Lake City, the SLC international airport and the University of Utah and Westminster College, in addition to providing local service to amenities along the corridor itself. Long-time and new residents mix in public spaces created to meet the needs of a diverse population. Significant automobile traffic still travels through the area, but it does not overshadow the built environment and drivers now know when they enter the area that they are traveling through a distinct and special place. Also, transit service provides frequent and efficient travel options, making it easy to get around without use of a car. A designated bicycle lane on Fort Union enables cyclists to travel safely through the area and to destinations along the way.”
 - ii. Fort Union Partners has spent a great deal of thought developing a design that Cottonwood Heights can be proud of for years to come, and that encapsulates the spirit of the Fort Union Plan. A first glance shows a walkable design that integrates seamlessly with Fort Union Blvd. Citizens will be able to take a stroll through a beautifully landscaped corridor connecting new residents and old. Benches, potential bike lanes, and a compelling visual facade will draw residents to this area and immediately bolster an area of Fort Union in desperate need of gentrification. As stated in the general plan, when residents enter this project they will immediately feel it is “a distinct and special place.” The immaculately designed townhomes / live-work units are the vision of Pierre Langué at

Axis Architects, a best in class Architecture firm that designs modern commercial and residential buildings. Block 17 is a classic modern design seen throughout Cottonwood Heights that will endure for years to come. We hope you love it as much as we do.

4. Buffering

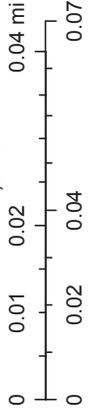
- a. All setbacks in Block 17 are in compliance with the MU code. Special thought has especially been given to the rear setback which abuts a residential zone to go the extra-mile by providing lots of landscaping and a playground area between the two projects.

Plat Map



February 17, 2019

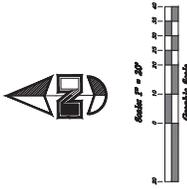
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Esri, HERE, Garmin, © OpenStreetMap contributors, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri

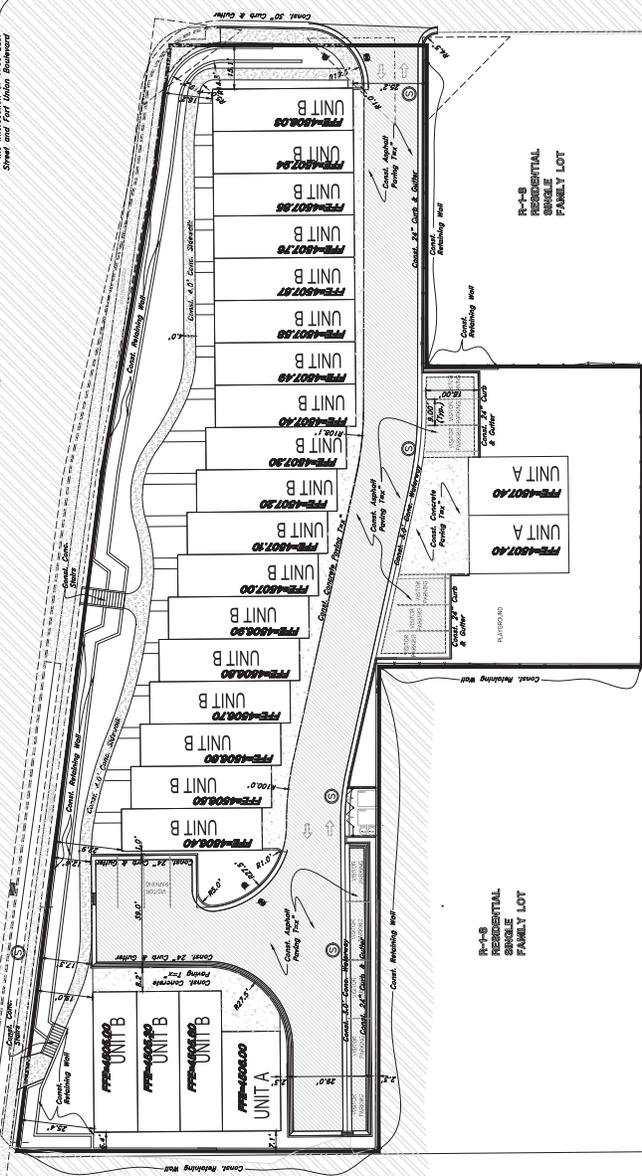
This map was created by the office of the Salt Lake County Assessor, in cooperation with the offices of Surveyor, Recorder, Auditor, and Information Services. Copyright 2013, Assessor GIS. The information depicted here is to be taken as an approximate fit in regards to the spatial position of the layers presented. This map is not intended to represent an actual field survey of, nor establish the actual relation between, any of the layers depicted here.

SITE DATA TABLE
 PARCEL 1 AREA 48,611 SF (1.11 ACRES)
 BUILDING TOTAL SQFT 16,200 SF (Stack Lot Coverage)



FORT UNION BLVD
Fort Union Boulevard

1700 E
1700 East Street



R-4-B
 RESIDENTIAL
 SINGLE
 FAMILY LOT

R-4-B
 RESIDENTIAL
 SINGLE
 FAMILY LOT

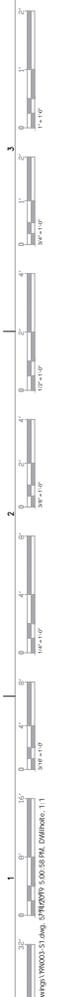
South Quarter Corner of Section 21,
 T2S, R1E, S48M, U.S. Survey
 (Found Brass Cap Monument)

Legend

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Southwest Corner of Section 20,
 T2S, R1E, S48M, U.S. Survey
 (Found Brass Cap Monument)

N. 82°52'55" W (Beats of Bearings)



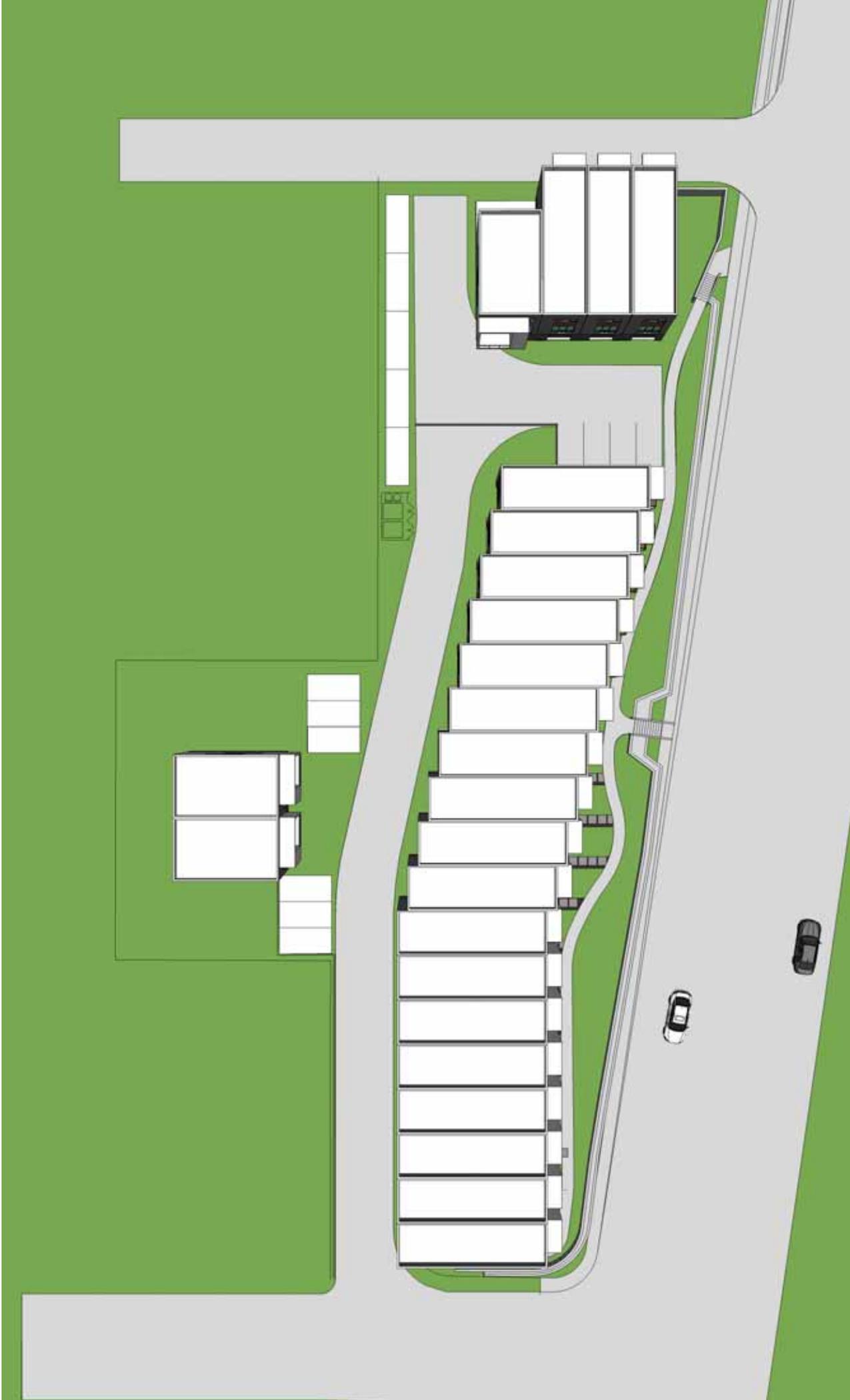




FORT UNION TOWNHOMES - 3D VIEWS

Axis Architects





AE201

ELEVATIONS

Axis Job # 1901
Client # 5142019
Date 5/14/2019
Drawn
Checked

Revision # Date

FORT UNION TOWNHOMES
6958 S. 1700 E
COTTONWOOD HEIGHTS, UTAH
SCHEMATIC DESIGN

Axis Architects

272 SOUTH STATE STREET
SALT LAKE CITY, UTAH 84111
P 365-3003

NOT FOR CONSTRUCTION



B1 NORTH ELEVATION - UNITS B
SCALE: 1/8" = 1'-0"



A1 NORTH ELEVATION UNIT B - CONT.
SCALE: 1/8" = 1'-0"



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AE202

ELEVATIONS

Axis Job # 1901
Owner # 5142019
Date
Drawn
Checked

Revision # Date

FORT UNION TOWNHOMES
6958 S. 1700 E
COTTONWOOD HEIGHTS, UTAH
SCHEMATIC DESIGN

Axis Architects

227 SOUTH STATE STREET SALT LAKE CITY UTAH 84111 P 365-3003

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B1 SOUTH ELEVATION - UNITS B
SCALE: 1/8" = 1'-0"

A1 NORTH ELEVATION UNIT B - CONT.
SCALE: 1/8" = 1'-0"

13'-0" ABOVE GRADE
HARD COAT PLASTER
PE WOOD SIDING TYP.
GLAZING TYP.
BLACK BRICK TYP.
GARAGE DOOR TYP.

13'-0" ABOVE GRADE
HARD COAT PLASTER
PE WOOD SIDING TYP.



ELEVATIONS

Axis Job # 1901
 Client # 5142019
 Date
 Drawn
 Checked

Revision # Date

FORT UNION TOWNHOMES
 6958 S. 1700 E
 COTTONWOOD HEIGHTS, UTAH
 SCHEMATIC DESIGN

Axis Architects

227 SOUTH STATE STREET SALT LAKE CITY UTAH 84111 P 365-3003

NOT FOR CONSTRUCTION



C1 NORTH ELEVATION UNIT A
 SCALE: 1/8"=1'-0"

B1 WEST ELEVATION UNITS A AND B
 SCALE: 1/8"=1'-0"

A1 EAST ELEVATION UNITS A AND B
 SCALE: 1/8"=1'-0"

- 132'-0" ABOVE GRADE
- HARD COAT PLASTER
- HARD COAT PLASTER
- COLOR TYP.
- GLAZING TYP.
- BLACK BRICK TYP.
- ENTRY DOOR TYP.
- GARAGE DOOR TYP.

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AE102

FLOOR PLAN - UNIT A

Axis Job # 1901
Project # 5142019
Date
Drawn
Checked

Revision # Date

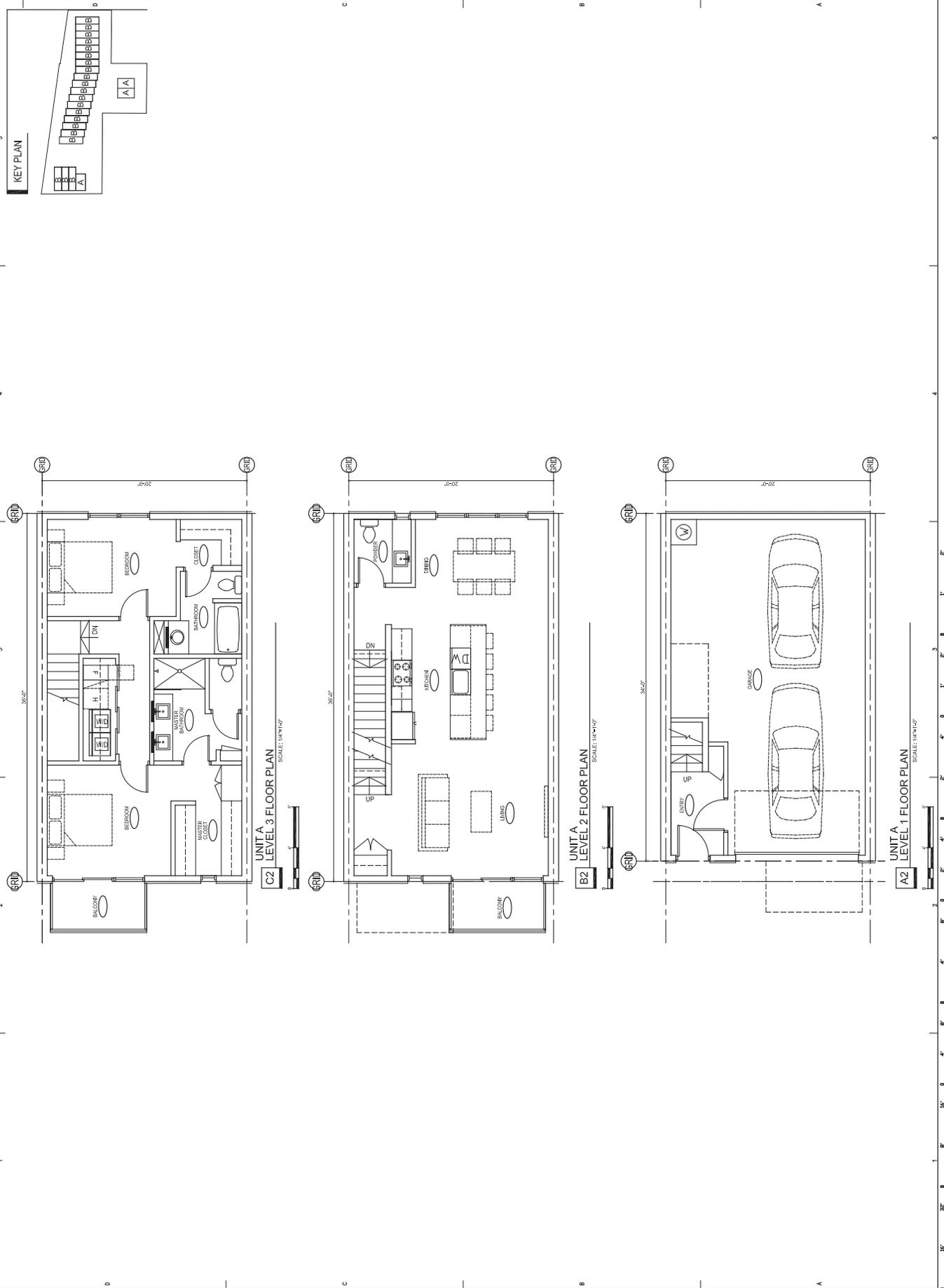
FORT UNION TOWNHOMES
6958 S. 1700 E
COTTONWOOD HEIGHTS, UTAH
SCHEMATIC DESIGN

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Axis Architects

2727 SOUTH STATE STREET SALT LAKE CITY UTAH 84111 P 365-3003

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FLOOR PLAN - E

Axis Job # 1901
Owner # 5142019
Date
Drawn
Checked

Revision # Date

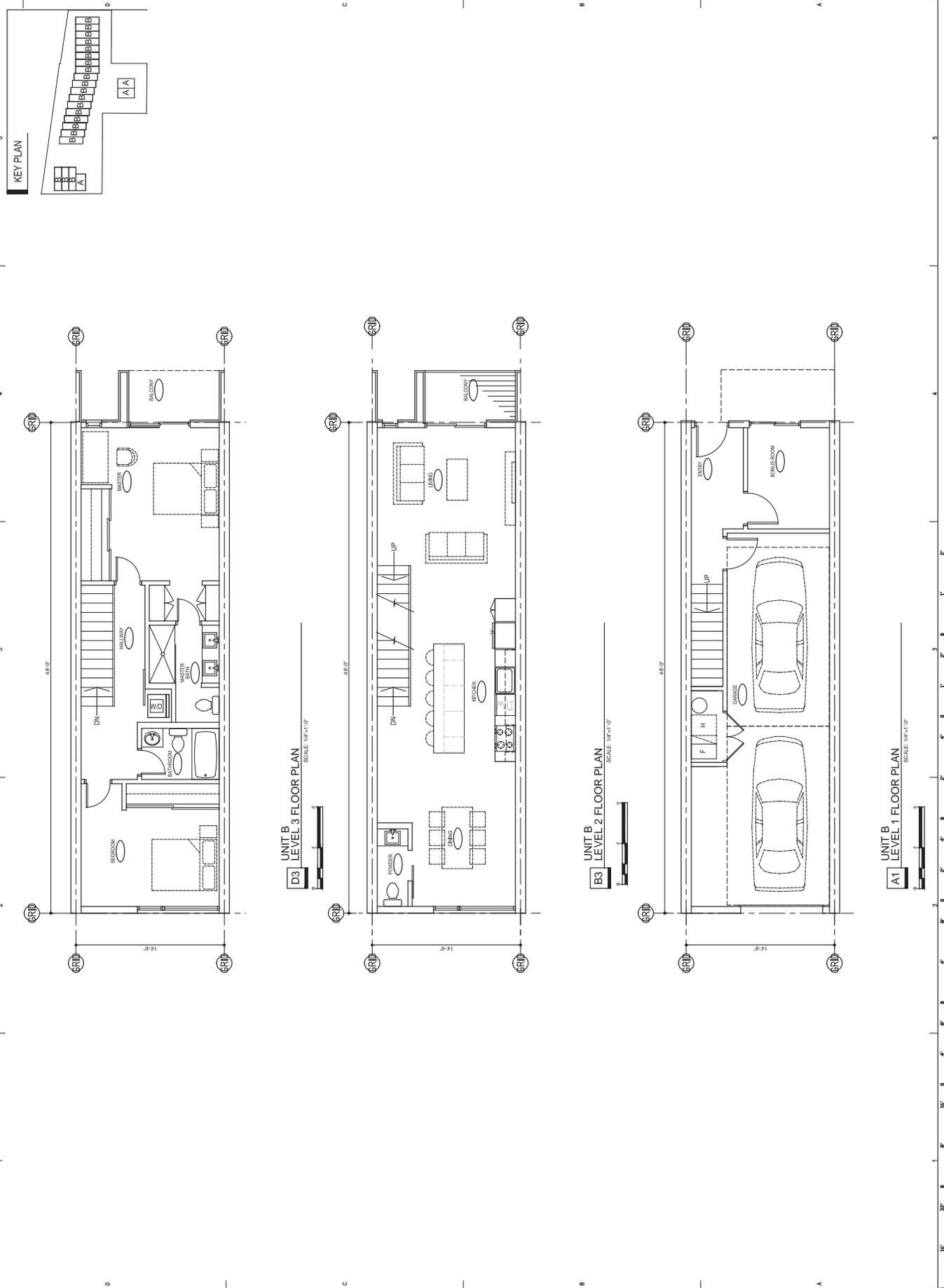
FORT UNION TOWNHOMES
6958 S. 1700 E
COTTONWOOD HEIGHTS, UTAH
SCHEMATIC DESIGN

NOT FOR CONSTRUCTION

Axis Architects

2727 SOUTH STATE STREET SALT LAKE CITY UTAH 84111 P 355-3003

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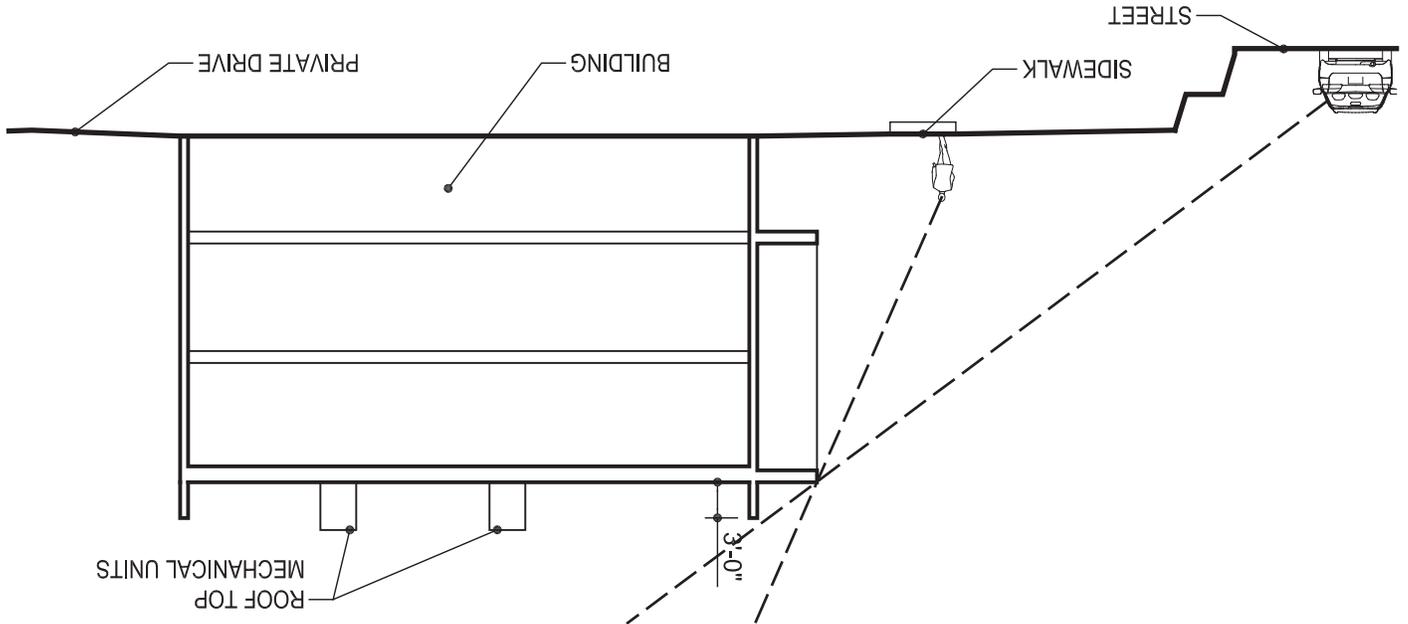
ST-01

PROJECT: FORT UNION TOWNHOMES
ISSUED: 05.14.2019 REVISION:
SCALE: 1/16" = 1'-0"

DET NUMBER:

SCREENING ROOF TOP MECHANICAL UNITS

DET. NAME:





BLACK BRICK



GLASS



IPE WOOD SIDING



STUCCO
WHITE AND GRAY



FORT UNION TOWNHOMES - 3D VIEWS



FORT UNION TOWNHOMES - 3D VIEWS



FORT UNION TOWNHOMES - 3D VIEWS



Planning & Zoning Review

Review Date:	June 11, 2019
File Number:	SPL-19-007
Project Name:	Block 17 Townhomes / Ft. Union Townhomes
Project Location:	1648 E. Ft. Union Blvd.
Project Zone:	MU – Mixed-Use
Project Contact:	John Prince
City Staff Contact:	Matt Taylor, Senior Planner / 801-944-7066 / mtaylor@ch.utah.gov

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General Notes

- Please label each unit with a number for easier identification to review comments and future platting.
- Please identify which units are to be live/work.
- Please submit a letter from the trash service provider indicating that they will be able to provide trash pickup with the trash pickup as designed.
- Please actively market units as live-work units. (This is important to help the City accomplish the purposes of the MU zone and to help implement the Ft. Union Corridor Master Plan).

- It is requested on the floor plan that the partition to the main-floor bonus room is removed. It is also request that you consider exp As these can be utilized as live-work spaces, it would be preferred to maximize the space for a that purpose. Putting up a partition wall will present a barrier to owners wishing to commercialize and maximize that space for business purposes.

19.36 MU Zone Review

The property is located in the MU – Mixed Use Zone.

Permitted Use

The permitted use for this site plan review is “Mixed-use residential buildings as defined in this chapter”

Definition: “A mixed-use building is a single building containing more than one type of land use, or a single development of more than one building and use, where the different types of land uses are in close proximity, planned as a unified complementary whole, and functionally integrated.” See 19.36.040.

Because of the way that Unit “B” is designed, we will be counting 21 units as live-work unit for the purposes of this project. Each unit will be permitted to select a primary use outlined in 19.36.020 for utilization of main-floor work area.

Incomplete Information

Please indicate on the plat and site plan which units have workspace as part of the unit.

Height

The third story will require Planning Commission approval. See 19.36.050.

Maximum building height in the Gateway Overlay District is 45 feet. This is measured per the provisions of 19.76.030.D (from natural, NOT finished, grade). The proposed height is mostly in compliance a few points it is less than ½ foot above the natural grade.

Additional Information Requested

Please have the project engineer provide a narrative and plan identifying the exact elevation of natural grade.

Lot Coverage

Lot coverage and landscaping coverage provisions seemed to be complied with this plan submittal.

No Changes Needed

Setbacks

Front Yard

The northwest building has an 18.62’ front yard setback. The east unit has a 15.1’ side yard setback. The minimum front yard along a street is required to be 20’ without a Planning Communion exception: “the planning commission may reduce or eliminate the setback if it abuts CR, MU, NC, ORD, or PF-zoned properties and finds that the reduction or elimination helps create a better designed development, and

that the reduction or elimination will not adversely affect the public health, safety or welfare.” See 19.36.090.

This front yard setback reduction is not a concern to staff and we would be willing to recommend an exception to the Planning Commission. Additional front yard exceptions will be needed as the Ft. Union Corridor Master Plan requires additional right-of-way for sidewalk, planter strip improvements. This will affect the front yard but we will recommend approval of a reduction to accommodate this need.

Side Yard

The west side yard has a 6.4’ setback. “Minimum side and rear yards of 25 feet shall be required for side or rear yards of a lot in an MU zone abutting a residential zone.” This setback is in noncompliance. There does not seem to be an exception in the code for this setback. An alternative would be to purchase the flag pole portion of the residential homes to the south of this project, incorporate that area into the plan, and then grant an access easement to the existing homes.

Planning Commission Exception Required For Street Front and Side Yard
Changes Required for West Setback

ARC – Design Guidelines

“**Design guidelines and standards.** All mixed use developments shall comply with the provisions of the city’s design guidelines available through the community and economic development department and on the city website.” See 19.36.090.C.

Staff has yet to write the report on our recommendations on how the project complies with the City’s design guidelines. However, we will attach to this review a copy of the guidelines with provisions highlighted that are of concern or are being evaluated at this time. The ARC will determine compliance after receiving recommendation from City staff.

Please Submit Color Materials Board for ARC Consideration
See 19.87.040.D.

Please Review Design Review Guidelines for ARC Meeting Preparation

Lighting

No lighting plan has been submitted. See 19.36.120 for requirements.

Parking Lot Lighting.

Parking areas shall have adequate lighting to insure the safe circulation of automobiles and pedestrians. Such lighting shall be shielded in such a way as to not be a nuisance to, or otherwise adversely affect, adjacent properties or uses. See 19.80.030.D.

A. Uniformity of lighting is desirable to achieve an overall objective of continuity, and to avoid objectionable glare.

B. The maximum height of luminaries shall be 18 feet unless the planning commission requires a lower height as part of the conditional use approval. The light shall be low intensity, shielded from uses on adjoining lots, and directed away from adjacent property in a residential or agricultural zone or an adjacent residential zone or use.

C. Pedestrian walkways shall be lighted.

D. All lighting next to residential uses, or where the planning commission requires, shall be full-cut-off lighting to reduce light pollution. See 19.80.090.

Parking lot and street lighting. All parking lot light fixtures shall be installed to prevent light glare from adversely affecting adjacent properties. Lighting of all pedestrian pathways is required.

1. Lighting will be judged as to how adequately it meets its intended purpose. Design and location of standards and fixtures shall be specified on the site development drawings.
2. Intensities shall be controlled so that glare or excessive direct light will not adversely affect neighboring areas. All streetlights and interior parking lot lights shall meet the City's lighting design standards. See 19.87.040.F

Building lighting. Plans for exterior building lighting shall be approved as part of the site plan approval. Building lighting shall be shielded and full cut-off so that the light source does not penetrate beyond the property where the structure is located. To prevent light pollution, to the greatest extent possible lighting shall not project above or beyond the property line. See 19.87.040.F.

Additional Documentation Required. Please Submit 1-Week Prior to ARC Review

Screening

Trash Enclosure Screening: Please identify paint color for trash enclosure on materials board submitted to the ARC for their review. Please provide details on gates. Please show elevation view or photo so ARC can see how the dumpster will look. See 19.87.040.C

Ground v. Roof Appurtenances: Please identify where air compressors or other mechanical equipment will be located. Please provide a plan identifying location and screen materials. See 19.36.130.

Mechanical equipment. All mechanical equipment shall be located or screened (and/or other measures taken) so as not to be visible from any public or private street. Screens shall be aesthetically incorporated into the design of the building, whether located on the ground or roof. Rooftops of buildings shall be free of any mechanical equipment unless completely screened. Screening materials shall conform to the color scheme of the primary building. Measures taken to shield mechanical equipment from view, other than screening, must be approved by the planning commission. 19.87.040.B & C.

Utility Plan: Please provide a basic utility plan identifying where electrical, water and gas lines will be installed and how external components of those utilities be screened. See 19.36.130.D.

Additional Documentation Required. Please Submit 1-Week Prior to ARC Review

Landscaping

The proposed minimum area for landscaping is above the minimum requirement of 15%. See 19.36.140.

The submitted landscaping plan is identified as a preliminary plan and provides many species options for each type planting classification. The ARC may wish to review and approve exact plant species types.

Please revise plans to show consistency between landscaping plan and architectural renderings. Staff support the inclusion of the trees as shown on the renderings into the landscaping plan.

Site Plans

Site plan approval is required for any multiple-unit residential and commercial development.

“All buildings shall have a minimum of 15% transparency on all floors, which shall consist of windows that provide visibility from the public right-of-way or adjacent property. “ Please revise for all levels on side elevations.

Signage.

Signage plan. The planning commission shall approve an overall signage plan during the site plan approval process. All information to be provided for the sign approval may be submitted concurrently with site plan application materials, but is not required. See 19.87.060.C.11

- Signage should be planned for the live/work units. Provide a typical signage plan for a live/work business that includes a wall sign not exceeding ten percent of the bottom floor wall area. The sign plan could include a plan how to face the door window or balcony edge with signage. We want to have ARC evaluate this. The outcome should be that these live work units are viable business opportunities in order to qualify as a mixed-use residential development.

Traffic Impact Study

Traffic impact study. A traffic impact study (completed by a certified traffic engineer) may be required if the DRC determines that a need exists to review the potential traffic impacts of the proposed development. See 19.87.60.D.12

Additional Documentation Required. Please Submit Traffic Study 1-Week Prior to PC Review

Additional Documentation Required. Please Submit Signage Plan 1-Week Prior to ARC Review

19.76 Supplementary and Qualifying Rules and Regulations Review

Height limitations—Exceptions. In the..., MU zones, penthouse or roof structures for the housing of elevators, stairways, tanks, ventilating fans or similar equipment required to operate and maintain the building may be erected above the height limits prescribed in this title when approved by the planning commission, but no space above the height limit shall be allowed for the purpose of providing additional floor space. In the case of conflicting provisions, the stricter requirement shall apply. See 19.76.030.G.

Construction Mitigation Plan Required Before Construction. This plan is required prior to the issuance of a building permit. See 19.76.030.M.

Clear View Standards

Intersecting streets and clear visibility. In all zones, no obstruction to view in excess of three feet in height shall be placed on any corner lot within a triangular area formed by public or private street property lines and a line connecting them at points 30 feet from the intersection of the street lines, except a reasonable number of trees pruned high enough to permit unobstructed vision to automobile drivers. See 19.76.050.A.

A. Corner sight distance for local streets as defined in the AASHTO guidelines shall be a minimum of 300 feet. All other locations shall be provided with sight distance in accordance with AASHTO guidelines.

B. No constructed or planted obstruction to view, in excess of two feet in height above the level of the adjacent street pavement (measured at the edge of the pavement) shall be allowed within the clear view of intersecting streets. See 14.12.040.

The grade at such intersections shall not be bermed or raised for a distance of 30 feet at intersections and 15 feet back from driveways to allow for sight distance. See 19.80.080.C.

Please provide preliminary retaining wall details per 19.76.050.E

Please modify retaining wall plans to comply with the above clear view standards.

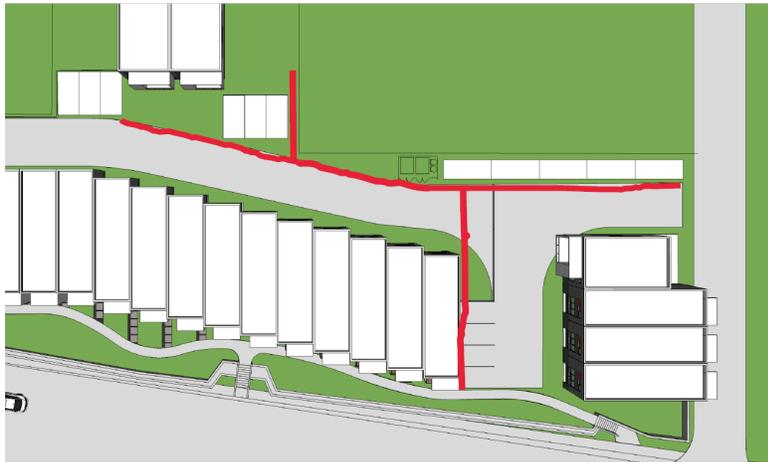
Additional Detail and Modifications Required to Site Plan

19.80 Off Street Parking Requirements Review

Pedestrian walkway: Please design an internal walkway system that connects the south units to the walkway on Fort Union and Units and ADA stalls along Ft. Union to the play area near the south units. This walkway or path should be in a delineated colored concrete or other differing hard surface from the concrete roadway in order to provide clear and enduring guidance for visitors of live-work units.

19.80.040. Pedestrian walkways shall be lighted. See 19.36.090.B & 19.80.090.C. & Design Guidelines.

One approach could be as follows:



Changes Required

Parking Requirements

Parking requirements may deviate from the standards contained in section 19.80.110 when the city's Development Review Committee or planning commission determines that the deviation meets the intent of this chapter. See 19.80.050.F.

In this case, the DRC will apply a standard of 2 parking spaces per residential unit and 3 spaces per 1,000 square feet of commercial/office use.

ADA spaces are required (see below) and will reduce the number of parking stalls due to their design requirements.

Dimensions for Parking Stalls Review

Unit A Parking: It is highly recommended that Unit A is redesigned as a two-car side-by-side typical garage and have the entry relocated to the opposite side. There are a couple reasons we believe this change should occur. The second tandem parking spot is too shallow to be counted as part of the total number of parking stalls per 19.80.060. Second, the current overall design creates excess garage space (although good for storage) could be converted into a much larger entry/bonus room/ live-work space if designed with a typical garage approach.

Handicap Accessible Parking Review

Please provide two (3) ADA stalls. I recommend one closest to the live-work units on Ft. Union and the other two closest to the playground area. Please identify on site plan: “A permanently affixed reflective sign and/or surface identification painting depicting the standard symbol for handicapped parking shall identify each parking stall.” 19.80.070

Revisions Required

Snow Stacking

Snow Stacking Capacity. Every parking lot design shall plan for a snow stacking area to accommodate the stacking volume of a one foot snow base over the entire parking lot. Please identify snow stacking area that does not interfere with a required parking stall or impede in the required fire turn around area (if it is at the end of the lane beyond what is required for fire code, that may be an appropriate place).

Additional Information Required

Utilities

Utilities. All utility lines shall be underground in designated easements. No pipe, conduit, cable or line for water, gas, sewage, drainage, steam, electrical or any other source or service shall be installed or maintained upon any lot (outside of any building) above the surface of the ground except for hoses, movable pipes used for irrigation, or other purposes during construction.

1. Transformers shall be grouped with other utility meters where possible, and shall be screened with vegetation or another appropriate method as determined by the city’s planning director.19.87.030.D

Provide Additional Documentation

Street Design

Stairs project into existing sidewalk. Please revise.

19.76.050.B - B. Off-site improvements.

Off-site improvements required. The applicant for a building or conditional use permit for all dwellings, commercial or industrial uses, and all other business and public and quasi-public uses shall provide curb, gutter, sidewalk and asphalt along the entire property line which abuts any public road or street in cases where it does not exist at city standards. See 19.76.050.B.

Determination of width of right-of-way. The department may, subject to ordinances adopted by the city council, determine the permissible width of rights-of-way for public highways in the city. See 14.08.040.

Ft. Union Corridor Master Plan Cross Section. It is the policy to reconstruct Ft. Union Blvd to the cross section. Additional right-of-way will need to be dedicated to accomplish this. Although this will affect the front yard setback, staff will recommend approval of a reduced setback to accommodate the right-of-way expansion. The corridor bike lane will alternatively be developed as a park / planter strip. 48 feet from the existing Ft. Union centerline to the back of sidewalk. **Please modify civil and landscaping plans accordingly.**

http://cottonwoodheights.utah.gov/UserFiles/Servers/Server_109694/File/Departments/Planning/CH%20Fort%20Union%20021015.pdf



Additional Documentation Required

Planning Commission Hearing

Specific Planning Commission Actions

- 1. Site Plan Approval:** Developments in the MU zone must submit a site plan, which is subject to planning commission approval. 19.36.110
- 2. Height Exception Approval:** The planning commission, after receiving favorable recommendation from the DRC, may increase the maximum height of a structure in an MU zone to no more than three stories, upon a finding that such increased height will not adversely affect the public health, safety or welfare. 19.36.050

3. **Front and Side Yard Along Street Exception Approval:** The planning commission may reduce or eliminate the setback if it abuts CR, MU, NC, ORD, or PF-zoned properties and finds that the reduction or elimination helps create a better designed development, and that the reduction or elimination will not adversely affect the public health, safety or welfare. 19.36.090
4. **Approval of the signage plan: Signage plan.** The planning commission shall approve an overall signage plan during the site plan approval process. All information to be provided for the sign approval may be submitted concurrently with site plan application materials, but is not required. See 19.87.060.D.11

Title 14 – Highways, Sidewalks and Public Places

Curb Ramps

All public and private curb ramp, ramp and sidewalk development located within and subject to the jurisdiction of the city shall meet the requirements of this chapter. See 14.12.025. Curb ramps shall be provided wherever an accessible route crosses a curb. (see section for additional details). See 14.12.065.

Revised Plans Requested

Requirements Prior to Building Permits Being Issued

CC&Rs and Plat Notes

Please include the following policies/requirements as a note on the subdivision plat and within the CC&R's for the project:

“Units with more than 120 square feet on the main floor of habitable/non-garage floor area may be utilized as a commercial workspace under the permitted use zoning regulations of Cottonwood Heights City. Expansion of any commercial work-space into the garage area or other areas of the unit may only be permitted upon by city approval of a modified parking requirement and/or plan for the development.”

“75% of visitor parking is reserved for patrons of commercial establishments between the hours of 8:00 and 5:00pm. Residential guest parking is permitted in 100% of the visitor parking area after 5:00 pm. Each visitor parking space shall be clearly signed with these provisions. Modification of this regulation requires approval from the City.

“ The HOA shall not fail to remove or cause to be removed from such sidewalk and any existing pedestrian curb ramp all hail, snow or sleet within a reasonable time after the hail, snow or sleet has fallen. Such removal shall in any event occur not later than the same day in which the snow, hail or sleet has fallen; provided that snow, sleet and hail falling after 8:00 p.m. may be removed the following day by 10:00 a.m.”

Please Provide draft CC&Rs as Part of Subdivision Application



CONSULTING ENGINEERS AND SURVEYORS

12401 South 450 East C2
Draper, Utah 84020
(801) 571-9414
Fax: 571-9449
www.gilsonengineering.com

June 10, 2019

Planning Director, Michael Johnson
Cottonwood Heights
2277 East Bengal Blvd.
Cottonwood Heights, UT 84047

RE: BLOCK 17 – PRELIMINARY ENGINEERING REVIEW #1

Mike:

We have reviewed the above-mentioned proposed development and have the following comments:

The following review items are based on the preliminary submittal:

1. Submit a preliminary plat per Cottonwood Heights standards for review.
2. Submit a full construction planset with engineering wet stamp and signature for review.
3. Development will be required to meet Fort Union Boulevard ROW requirements detailed in “Fort Union Main Street Corridor Area Plan”. Property is located in the community district area; whose cross-section ROW includes:
 - a. 48-ft half width ROW
 - b. 8-foot sidewalk along frontage of property
 - c. 5-ft bike lane
4. Submit a traffic impact study addressing the following comments:
 - a. Trip generation and parking analysis
 - b. Sight distance analysis based on AASHTO for existing and proposed conditions.
 - c. Intersection LOS-delay relationship analysis
 - d. Access management analysis
 - e. Queue analysis
 - f. Functional roadway upgrades analysis for 1700 East
 - g. Striping, signage, and lighting plan for development.
 - h. Conclusions and recommendations
5. Label all public and common use areas on site plan. All public and common use areas must provide an ADA accessible route.
6. Show ADA accessible routes from public frontage on Fort Union Blvd and 1700 East.
7. Show all existing street lights and fire hydrants within 500-feet on site plan.
8. Show required number of ADA parking stalls per city ordinance.
9. Show all proposed retaining walls on site plan. Indicate the proposed elevations (TOW&BOW) for all proposed walls. All walls must be completely built within property lines.
 - a. All proposed retaining walls impacting the neighboring properties by obligating them to maintain certain slopes or other restrictions will require an easement

between property owners before any approval.

10. Show preliminary location and size of all existing storm drain pipes. Show proposed connection to city approved storm drain connection.
11. Show preliminary indication of all needed storm drain pipes and catch basins.
12. Show width of proposed roadway on site plan. Minimum width of private roadway is 25-ft per city ordinance.
13. Does the existing sidewalk on Fort Union Blvd. remain? The proposed concrete stairs appear to end in the middle of the sidewalk.
14. Provide letters of approval from the following jurisdictions:
 - a. Salt Lake City Department of Public Utilities
 - b. Cottonwood Improvement Sewer District

Preliminary Storm Water Study

1. All storm drain facilities must be referenced with applicable APWA standards.
2. Provide data indicating pipe material type, diameter and slope for each pipe segment. Minimum pipe size allowed is 18-inch RCP.
3. Show location and size of all existing storm drain pipes on Fort Union Boulevard. Show proposed connection to city approved storm drain connection. The connection shall include a cleanout box.
4. Provide detailed information on underground detention system. Include elevation data, depth and cover elevations, and manhole access info.
5. Include storm water treatment design before discharge into city approved storm drain system. Snouts are not an approved form of storm water treatment. Storm water treatment systems shall be designed as following:
 - a. The system must remove 80% of the total suspended solids (TSS) using 125 microns for all storm intensities.
 - b. System must have approved protocol verification for both laboratory and in-field testing. Approved verification must come from either Washington State TAPE program or New Jersey CAT program.
 - c. Submit calculations for storm water treatment sizing. System shall be designed for the 10-yr storm.
 - d. Design system to accommodate storm water for all proposed lots in subdivision.
6. A long-term storm water management agreement must be completed for the proposed storm water facilities.

This review is preliminary and the city reserves the right to add additional requirements that are not listed in this letter during subsequent reviews or during the project. Please call me if you have any questions. Alternatively, we can meet at the city to discuss this review on Thursday mornings

GILSON ENGINEERING, INC
CONSULTING ENGINEERS AND SURVEYORS



Brad Gilson, P.E.
Cottonwood Heights Engineer

Matthew Taylor

From: Christen Yee <cyee@unifiedfire.org>
Sent: Friday, June 7, 2019 9:39 AM
To: Matthew Taylor
Subject: [EXT:]RE: First Submittal for Review - Preliminary Plan Review of Block 17 Townhomes.

So per our meeting this week.

- Developments of one- or two- family dwellings where the number of dwelling units exceeds 30 must provide to separate fire access roads.
- Buildings over 30 feet (or 3 stories) require aerial access

Which means...

- One length (the longest) of the building must run adjacent to a 26 foot wide road.
- That 26 foot wide road much be no less than 15 feet but no further than 30 feet from the building

Sent from [Mail](#) for Windows 10

From: [Matthew Taylor](#)
Sent: Sunday, May 26, 2019 11:21 AM
To: [Christen Yee](#); [Mike Mirabella](#); [Adam Ginsberg](#); [Brad Gilson](#); [Mike Allen](#)
Subject: First Submittal for Review - Preliminary Plan Review of Block 17 Townhomes.

CAUTION: This email originated from outside of the UFA organization. Do not click links, open attachments or take actions indicated unless you confirm the sender and know the content is safe. - UFA IT Support.

All,

Please provide me review feedback by Wednesday, June 5, 5pm if you are able. Friday, June 7 will also work if that is too soon.

Please note the two links to two documents that need downloading at the bottom of this email.

I am also hoping we can have an internal DRC meeting on June 5 to discuss as well.

Get [Outlook for Android](#)

From: Prince Realty <theprincerealty@gmail.com>
Sent: Wednesday, May 15, 2019 2:14:17 PM
To: Matthew Taylor
Subject: [EXT:]Conditional Use and Subdivision Applications

Hey Matt,

Attached are all items for the Conditional Use and Subdivision Applications for our project on the corner of 1700 e and Fort Union Blvd. I'll be swinging by momentarily to pay the fee's.

--

Adopted 2/12/13



DESIGN GUIDELINES

INTRODUCTION

1. Purpose

The purpose of these guidelines is to enhance the visual appeal of the city through the use of high quality and sustainable architectural and site design, and to develop a unique sense of identity in the Gateway Overlay District.

2. Goals

- To maintain, develop, and strengthen community character.
- To encourage well-designed, visually appealing non-residential development.
- To attract both local and regional clientele and increase economic activity in the city.
- To safely and equally accommodate both automobile and pedestrian traffic, and to promote a human scale to new developments.
- To define the community through the use of aesthetic and high-quality architectural design.
- To establish and maintain a high standard for architectural design.
- To create attractive, distinct and welcoming developments along main corridors of the Gateway Overlay District and through out the city.
- To create safe and environmentally friendly sites through the use of sustainable design techniques and CPTED principles.

3. Use

This document is divided into two main sections: (1) Architectural Design Guidelines and (2) Site Design Guidelines. Each page of the document refers to a different aspect of architectural or site design guidelines. Each page contains a numbered list of guidelines pertaining to each specific aspect of design (the numbers are in no indication of importance, but are simply for organization purposes). Each aspect of design also contains pictures or diagrams showing preferred examples of individual design. Pictures and diagrams found within this document are used to illustrate examples of a specific aspect of design and should be analyzed only for the relevant topic.

4. Review and Approval Process

- Locate and identify the applicable zoning district.
- Discuss the proposed project with city staff (this is an informal discussion, typically conducted before any design takes place).
- Review the design standards.
- Understand the context of the building site and inventory adjacent land uses.
- Develop the site plan and building design using the Design Guidelines, as well as the applicable chapters of the Cottonwood Heights (CWH) zoning ordinance and other applicable development regulations and policies.
- Contact city staff and schedule a pre-application meeting.
- Submit the project for formal review.

5. Standard of Compliance

This document is not legally binding. It is a set of guidelines to follow when designing non-residential sites in the Gateway Overlay District.

All potential sites are required to adhere to any relevant requirements found in the Cottonwood Heights (CWH) zoning ordinance. This document is to be used in addition to the zoning ordinance to aid in creating the most high-quality sites possible. Each submitted project will be subject to review and approval by the Architectural Review Commission (ARC).

We welcome and encourage creativity and the incorporation of all architectural styles. Any design work that is outside of these guidelines must be defended before the ARC.

6. Acknowledgement

A variety of existing design guideline manuals were referenced in the process of creating this document. Some wording and ideas expressed in this document were taken from design guideline documents from:

- Overland Park, KS
- Sandy, UT
- J - Design Manual, Brookhaven, NY
- Arcadia, CA
- Gilroy, CA
- City Center Design Guidelines, Avondale, AZ
- Crystal Mountain Resort, Westbank BC (Canada)

INTRODUCTION

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City Council:

Mayor Kelvyn Cullimore, Jr.
Councilman Michael Shelton
Councilman Scott Bracken
Councilman Mike Peterson
Councilman Tee Tyler

Planning Commission:

Ed Ogilvie
Jeremy Lapin
Lindsay Holt
Jennifer Shah
Perry Bolyard
Dennis Peters
Gordon Walker
James Jones
Paxton Guymon

Architectural Review Commission:

Scott E. Chapman
Jonathan Jay Oldroyd
Robyn Taylor-Granda
Niels E. Valentiner
Laura McCoy
Stephen K. Harman
Scott Peters

Development Team:

Brian Berndt, Community and Economic
Development Director
Larry Gardner, Planner
Michael Johnson, Planning Technician
Robin Walton, Planning Intern

ENTRANCES

1. Entrances should be easily identifiable and evoke a sense of entry.
2. Entrance areas should have a high quality of finish and level of detail.
3. Entrances should be the prominent features of the ground floor.
4. If the building site is located on a corner lot, a corner entrance is allowed and recommended. (Fig. 1)
5. Orient entrances towards the adjacent street or main access points.
6. To make entrances stand out, implement at least two articulation techniques, such as: clerestories, oversized doors, windows flanking doors, ornamental lighting, decorative stone/masonry, a pedestrian area with seating, public art, or landscaping.
7. Building entrances should include awnings, overhangs, canopies, porches, etc. (Fig. 2)
8. Buildings larger than 60,000 square feet should include at least two public entrances.

Fig. 1



Fig. 2



WINDOWS

Fig. 1



1. Windows on upper stories of buildings should be aligned with those on the lower story. (Fig. 1)
2. Any buildings set at the back of the sidewalk will have at least 60% of the ground floor elevation shall include transparent windows, display windows, and doors to contribute to transparency and a welcoming human scale.
3. Glazing is encouraged to promote safety and human scale.
4. The light source in display windows should not be visible from the building's exterior.
5. The majority of windows on a given floor should be relatively equal in size.
6. Windows should be designed to encourage retail use by being transparent and free from excessive signage.
7. Where a building fronts a pedestrian promenade, knee walls are encouraged under windows that otherwise border the ground. (Fig. 2)
8. Windows situated in hard materials should not have trim, and the window frame shall be a minimum of 2" wide.

Fig. 2



AWNINGS AND CANOPIES

ARCHITECTURAL DESIGN GUIDELINES

1. Awnings are encouraged to promote visual interest and shield pedestrians from weather.
2. In developments with multiple storefronts, awnings should be complementary in size, color, and material.
3. Awnings and canopies should not obscure permanent architectural elements of the building.
4. Awnings longer than a single storefront are prohibited.
5. Awnings must function as true awnings, situated over doorways and/or windows. (Fig. 1)
6. Awnings and canopies must be fixed to a vertical wall, and must lead to the public entrance.
7. Awnings should project at least three (3) feet over a pedestrian traffic area (i.e. doorway), and at least one (1) foot over a non-pedestrian traffic area.
8. Awnings and canopies shall maintain a minimum vertical clearance of eight (8) feet above the sidewalk. (Fig. 2)
9. Backlighting of awnings is prohibited.
10. Advertisements on awnings should be secondary to functional and aesthetic design, and should be in harmony with the colors and style of the building.
11. Awnings and canopies must be made of woven cloth or architectural metal materials.

Fig. 1

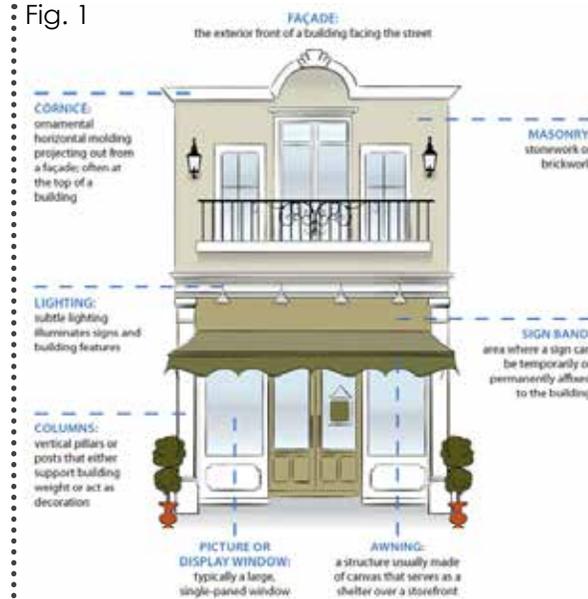


Fig. 2



FOUR-SIDED DESIGN



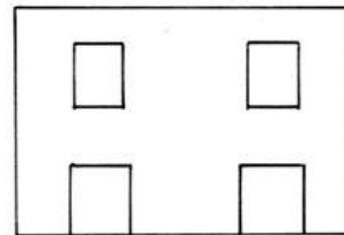
Fig. 1

1. Architectural details and colors must be consistent on all visible walls.
2. Avoid the look of a single façade that appears to be pasted on the front of the building. (Fig. 1)
3. Monotonous building massing should be avoided through smart architectural design. (Fig. 2)
4. Buildings should not have any blank, flat walls. (Fig. 3)

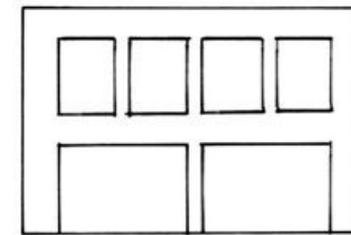


Fig. 2

Fig. 3



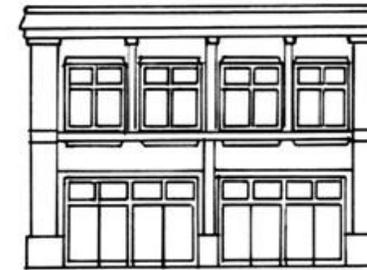
*Proportion of opening sizes
to building mass is too small*



Increase opening sizes



Articulate openings



Break up building mass

NATIONAL FRANCHISE/BIG-BOX STORES

ARCHITECTURAL DESIGN GUIDELINES

1. Prototypical signage and architecture of big-box stores is discouraged.
2. Developers should provide photos of other non-prototypical franchise buildings, at the request of the Planning Staff.
3. Architecture of franchise stores must be revised if the proposed design is not in conformance with these design guidelines.



COMPATIBILITY WITH SURROUNDINGS



Fig. 1



Fig. 2

1. Where applicable, pedestrian routes should connect with adjacent lots to make for a unified area.
2. Each site should be developed to integrate with surrounding properties, including rooflines, building height, setbacks, etc. Functional and aesthetic pedestrian and vehicular connections should be provided to evoke a sense of unity. (Fig. 1 & 3)
3. In multiple-building developments, similar materials and colors should be used and specified. (Fig. 2)
4. In multiple-building developments, individual entryways should be the source of expression of individual building character, not the surrounding facades.
5. Buildings that share a common wall must be no different in height than ten (10) feet or one story in height, whichever is less.
6. Building materials and colors should complement the natural environment, while adhering to all necessary design guidelines.

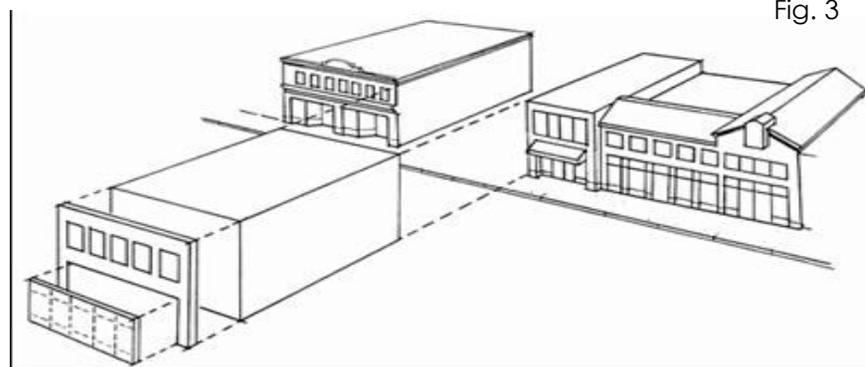


Fig. 3

ELEMENTS AND ARTICULATION

ARCHITECTURAL DESIGN GUIDELINES

- Buildings should include a recognizable base and top.
 - Base: Heavy material, thicker walls, vegetation (e.g. raised planters), human-scale elements.
 - Top: Medium/light materials, cornice and/or parapet treatment on flat roofs, eaves and/or brackets on sloped roofs.
- Every forty (40) feet of horizontal facade should be broken up by building articulation.
- Every fifteen (15) feet of vertical facade should be broken up by building articulation. (Fig. 1)
- Overall building height should be in correspondence with the ordinance for the desired land use.
- Building design should generally be more detailed at ground level.
- Outdoor seating and dining areas must be clearly defined and incorporated as part of the initial design. (Fig. 2)
- Use elements such as lighting, dormers, gables, parapets, and cornices to create visual interest and distinction between buildings.
- In multi-unit developments, such as shopping plazas, use a varied roofline to break up the length of the top of the building and create an aesthetic feel.
- Ensure that all aspects of articulation are in proper scale with one another and with the building as a whole. Out-of-scale elements can look as unpleasing as a long, continuous facade. (Fig. 3)

Fig. 1

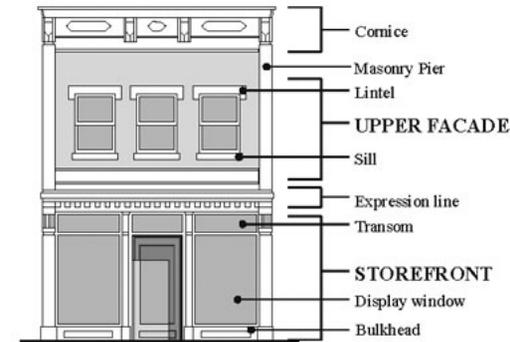
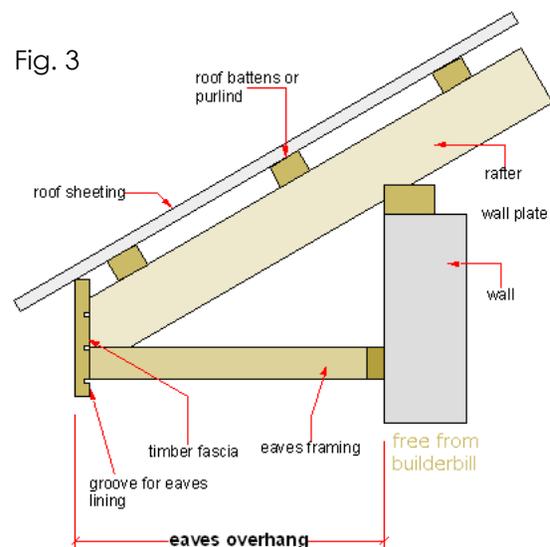


Fig. 2



Fig. 3





1. A parapet and/or a cornice treatment is required on buildings with flat roofs.
2. All parapets should feature cornice treatments. (Fig. 1)
3. Parapet height should be no more than five (5) feet, and may be used as roof equipment screens.
4. Long, continuous parapets of forty (40) or more feet should include varying heights.
5. Cornices should continue around the outside of an entire building projection, and NOT stop at a corner.
6. Elements such as dormers, gables, stepped roofs, etc. are recommended to break up expansive stretches of roofing. (Fig. 2)
7. Roofs of buildings with a footprint larger than 50,000 square feet should include both pitched and flat roofs, while adhering to the guidelines set forth for both types of roofing.
8. Pitched roofs should include overhanging eaves. (Fig. 3)
9. Exposed gutters are prohibited on buildings with flat roofs.
10. External downspouts are discouraged.
11. Wooden, vinyl, or chain-link fences are prohibited from being used as rooftop equipment screens.

BUILDING-MOUNTED AND CANOPY LIGHTING

ARCHITECTURAL DESIGN GUIDELINES

1. Any protruding lighting structures must be in accordance with the architectural character of the rest of the site.
2. Building lighting at ground level should be provided to illuminate storefronts, the public sidewalk, and the ground floor entrance to the building. (Fig. 1)
3. Accent lighting is encouraged to highlight interesting architectural features, signs, and displays, but must be shielded and oriented toward the intended feature.
4. Building lighting should be shielded and directed downward, unless part of ornamental lighting, to highlight building architecture. (Fig. 2)
5. The maximum footcandles under canopy lighting is thirty (30).
6. Appropriate fixtures for canopy lighting include recessed lighting fixtures or indirect lighting.
7. Floodlighting is prohibited. Lighting is to be used for safety or for highlighting specific architectural features.
8. Building-mounted lights should be designed to complement the architecture of the building. (Fig. 3)
9. Wall-mounted fixtures should not extend above the height of the wall to which the fixtures are mounted.
10. Down lighting and accent lighting are recommended, but the light sources should be screened from view.
11. Light sources in window displays should not be visible from outside the building.



Fig. 1



Fig. 2

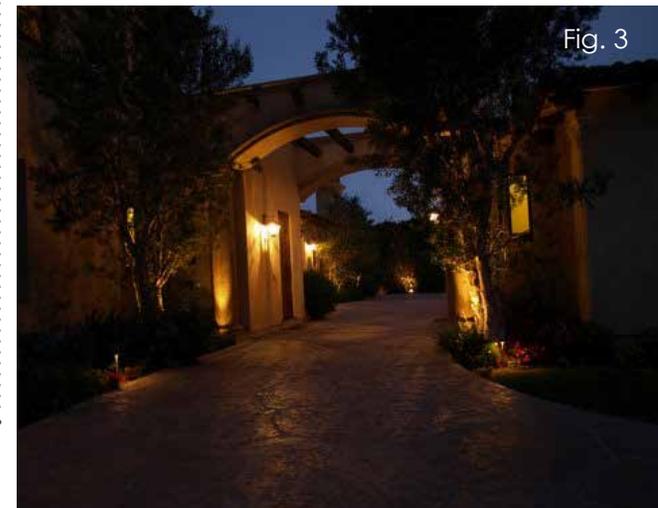
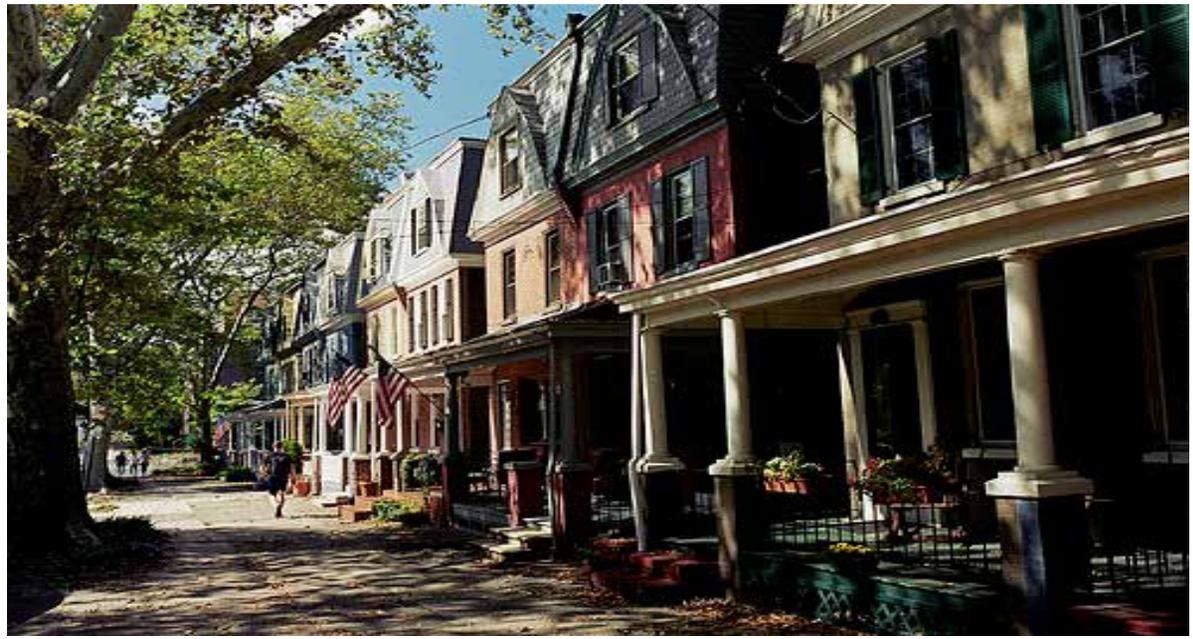
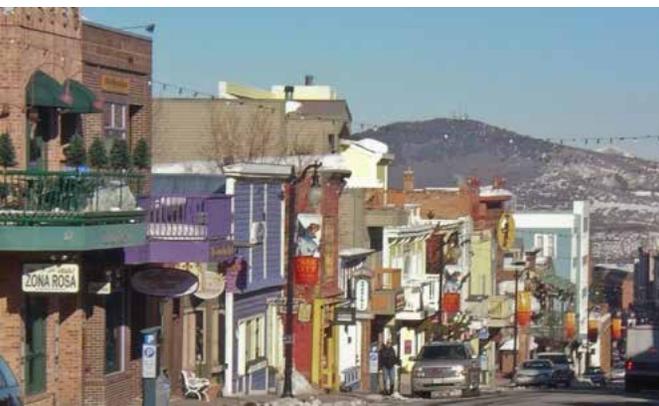


Fig. 3

MAINTENANCE AND MODIFICATION

1. Maintenance is required to ensure an appealing, safe, environment. Immediate repair of all unsafe sidewalks/parking lot cracks, tree uproots, and any other potentially unsafe site conditions is required.
2. When applicable, use graffiti-resistant materials to make exterior walls easier to clean.
3. Any site or building development will be in harmony with these design guidelines, making every effort to comply with these design standards, with any exceptions being approved by the ARC.
4. Any modifications to the current site must adhere to both the approved site plan, and if applicable, regulations found in the city ordinances.



MIXED-USE DEVELOPMENT

1. If multiple uses are to occur in the same building, there should be separate and distinct entryways for each. (Fig. 1 & 3)
2. Overall architectural style should be consistent, but slight variations may be implemented in order to differentiate between uses. (Fig. 2)
3. Parking for residential aspects of mixed-used buildings should be well-marked and separate from commercial/business parking.

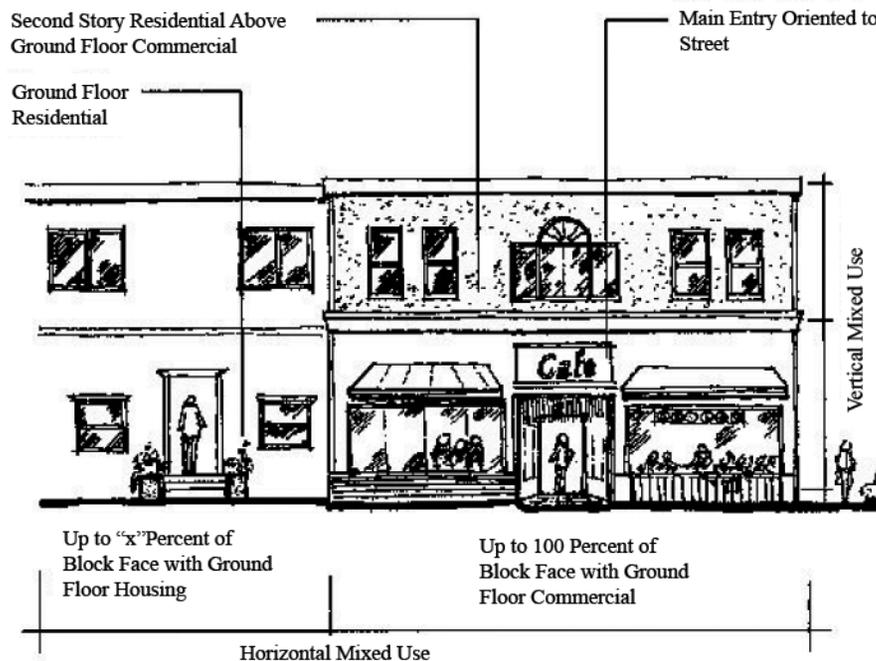


Fig. 1

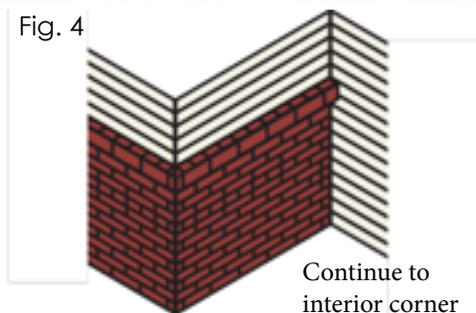
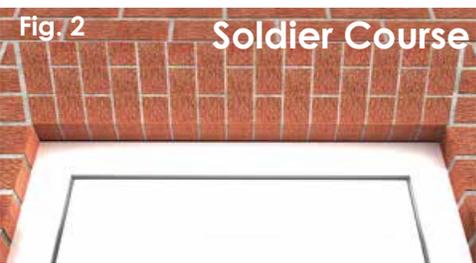


Fig. 2

Fig. 3



BUILDING MATERIALS



1. Heavy materials should be located below medium and light materials, and medium materials should be located below light materials.
2. At least 30% of each exterior wall (excluding gables, windows, doors, trim, etc.) should be made up of heavy materials, with the balance being composed of medium and/or light materials.
3. A vertical change of materials, if needed, should occur at an interior corner.
4. Synthetic stone must be proven to be identical in appearance and equally or more durable than real stone to be permitted.
5. Openings (doors or windows) in a brick or stone façade should have a lintel, arch, or soldier course. (Fig. 1-3)
6. Stone or brick used on exterior walls should not terminate at exterior corners, but should continue to the next interior corner. (Fig. 4)
7. Horizontal change from brick or stone to another material must be done using a stone cap or brick sill that protrudes from the face of the building.
8. Use permanent, durable materials that can be easily maintained.
9. Ground floor materials should create a strong connection with the ground itself to create a solid base and an inviting human scale.
10. Materials shall be oriented to accentuate horizontal lines.
11. No more than five (5) total materials may be used throughout a building's exterior design.

Recommended Materials:

This chart is intended as a general guide. It is not comprehensive. Materials not listed may be permitted, but are subject to approval from the Architectural Review Commission.

Façade	Roof *	Other
Common brick *	Clay tile	Canvas or metal awnings
Natural or imitation stone	Slate tile	Stamped or poured concrete
Textured concrete block	Concrete tile	5 color maximum, approved colors
Stucco *	Asphalt shingle	
High-quality wood		
Pre-cast concrete panels		
*Color subject to approval	*Color subject to approval	

BUILDING COLOR

ARCHITECTURAL DESIGN GUIDELINES

1. Colors should be used to tie the entire site together, and should complement the surrounding developments and natural environment. (Fig. 1 & 2)
2. Accessory units should match or complement the color of the surface they project from.
3. Avoid the use of bright, vivid colors, as they can create the perception of poor design and low quality.
4. Use earth tones and natural colors that complement each other. (Fig. 3)
5. Limit color use to no more than five (5) different colors per building.
6. The use of stained glass windows, murals and other colorful details is subject to approval.



Fig. 1



Fig. 3



Fig. 2

BUILDING CHARACTER

Fig. 1

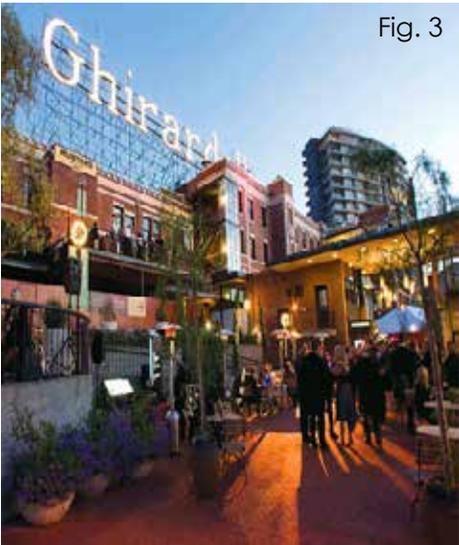


1. The architectural character of the building should portray a high-quality image.
2. Individual identity and creativity are greatly encouraged; however, care must be taken to ensure that each site and building is designed in harmony with other buildings on those same sites. (Fig. 1)
3. Sites should also be designed with safety in mind, allowing for clear views of the parking lot and outdoor area from many points on the site. (Fig. 2)
4. Where bordering pedestrian paths, every aspect of design must promote pedestrian safety and aesthetic appeal. (Fig. 3)
5. All aspects of site and architectural design must be interrelated, tying the site together as a single entity.
6. Sites should be designed to hide undesirable views and draw attention towards aesthetic components of the site and surrounding environment.
7. Each aspect of the architecture should be in good proportion with the overall site and with other elements within the site.
8. Sites should be designed to incorporate as much natural light as possible, to create a welcoming feel.
9. Buildings should include features that work to articulate building massing and scale relative to surrounding sites.
10. Roof drains, HVAC units, utilities, stairways, etc. should be internal or located away from any main facades or viewpoints. Use good design strategies to incorporate these features in "hidden" locations.
11. Buildings and sites should be designed with longevity and permanence in mind, and facilitate easy and regular maintenance.



Fig. 2

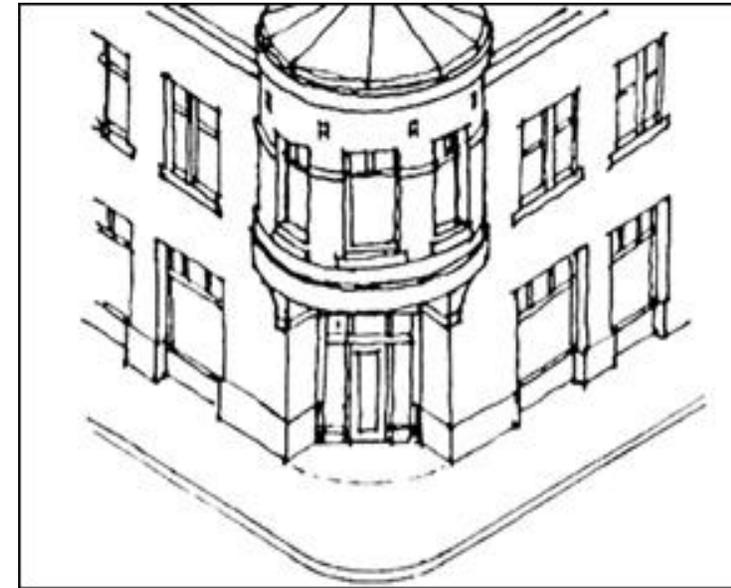
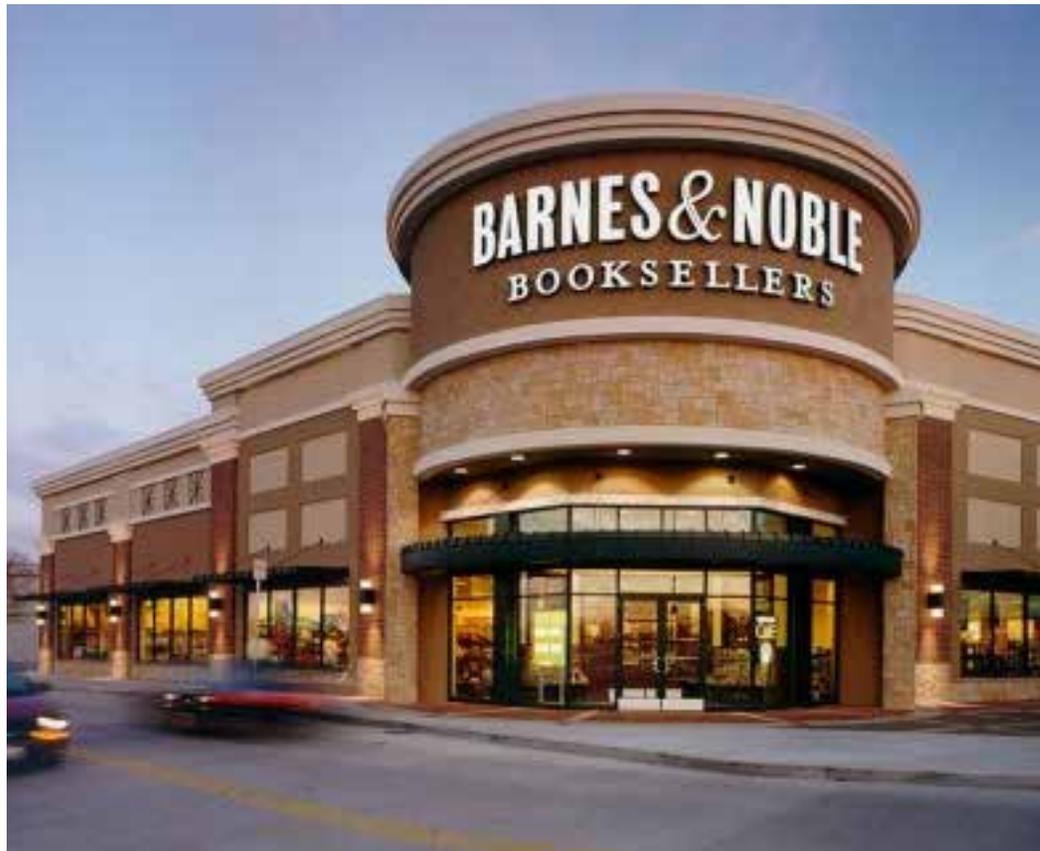
Fig. 3



BUILDING ORIENTATION

ARCHITECTURAL DESIGN GUIDELINES

1. Orient buildings to integrate with adjacent developments.
2. Buildings should be located near a street or primary right-of-way to appeal to pedestrians.
3. Main entrances should be open to the primary right-of-way.
4. Orient buildings to be pedestrian-friendly in terms of safety and aesthetically pleasing site design.



SITE GRADING AND SETBACKS



Fig. 1



Fig. 2

1. Buildings should be designed to create easy pedestrian access from sidewalks, parking areas, etc.
2. Buildings should be designed to relate to existing grade conditions in order to minimize the need for extra grading and exposing foundation walls.
3. An inviting and stable appearance for pedestrian traffic should be incorporated into the site design.
4. Drainage should be taken into account so that concentrated surface drainage will not collect on any sidewalks, walkways, or other pedestrian surfaces.
5. Retaining walls, with terracing, should not exceed five (5) feet in height for each section. The minimum width between the wall and edge of the tier shall be four (4) feet. Terrace areas must be permanently landscaped. (Fig. 1 & 2)
6. Retaining walls should be faced with brick, stone, or stucco, and be architecturally compatible with primary building materials used on-site.
7. Setbacks must be in accordance with the city zoning ordinance, under the applicable zone. Any setback variations are subject to approval.

LANDSCAPE AND STREETSCAPE

SITE DESIGN GUIDELINES

1. Plazas, courtyards, pocket parks, outdoor cafes, etc. should be designed in an inviting manner that encourages pedestrian use through the incorporation of elements such as trellises, fountains, art, seating, and shade trees. (Fig. 1)
2. Crosswalks should be distinctly marked for pedestrians, and constructed out of different hard material than the rest of the street.
3. Visually pleasing landscaping elements should be included as part of the original site plan, and not feel like an afterthought to fill in blank space. (Fig. 2)
4. Use vegetation that fits in naturally with the area and the surrounding developments.
5. Provide landscaping along and against all exterior building walls. (Fig. 3)
6. Include trees along all pedestrian walkways where possible.
7. Use landscaping to guide people and views to designated areas and pleasing viewpoints.
8. Landscaping should contribute to the overall appearance and function of the site as well as the streetscape.
9. Blend landscaping of a new development with the existing streetscape to tie the areas together visually.
10. Landscaping and vegetation features are required in parking lots. On doubled rows of parking stalls, one landscaped island is required at each end of the row, plus one measuring 36' x 9' placed at a minimum of every twenty (20) parking stalls. On single rows of parking stalls or where parking abuts a sidewalk, one landscaped island measuring 18' x 9' is required at a minimum of every ten (10) stalls.



Fig. 1



Fig. 2



Fig. 3

LANDSCAPE AND STREETScape CONT.



Fig. 1



Fig. 2



Fig. 3

11. The use of linear landscaped medians to break up parking lot aisles is highly encouraged. (Fig. 1)
12. Landscaping can be used functionally to screen unappealing site aspects like utility boxes, dumpsters, etc. from public view.
13. Landscaping must be designed and use plants that are high-quality and easily maintained.
14. Use a variation of both deciduous and evergreen plant materials and design landscaping in a manner that will be appealing throughout all seasons of the year.
15. Provide plans for sustainable and effective irrigation.
16. Use landscaping to connect areas within a site, such as parking lot to sidewalk and sidewalk to store.
17. Features such as high-quality public art or fountains are desirable landscaping elements. (Fig. 2)
18. For a clean, finished look and durability, walls should incorporate a wall cap and pilasters at entry points. (Fig. 3)
19. Mulching materials like bark shouldn't be used as permanent ground cover alternatives to hardscape materials, but bark used for moisture retention and weed control is encouraged.

MECHANICAL, TRASH, AND UTILITY SCREENING

SITE DESIGN GUIDELINES

1. Unsightly areas, such as service yards, refuse and waste-removal areas, loading docks, truck parking areas, etc., should be screened from view by the use of walls, fences, dense planting, etc. (Fig. 1)
2. Trash receptacles and other unsightly features should be located to the rear or sides of buildings and be screened from public view on-site, from public right-of-ways, and from adjacent sites using solid enclosures and/or landscaping, where practicable. (Fig. 2)
3. Rooftop screening of mechanical equipment should be in accordance with the architectural style of the building, and no equipment shall be visible from ground level.
4. Screen walls should be of similar materials and finishes as primary buildings.
5. Noise- and odor-generating functions on any site that may create a nuisance for the adjacent properties should be avoided and mitigated as much as possible.
6. All mechanical equipment, including A/C units and heaters, should be screened from public view. Buildings with flat or low-pitched roofs should incorporate parapets, pitched facades, or architectural elements designed to screen any roof-mounted equipment. (Fig. 3)
7. Utility service areas should either be placed within architecturally conforming enclosures or painted to blend in on the rear side of buildings. Utility companies should still be able to access meters and utility equipment easily and all screening must comply with building code minimum distance requirements.

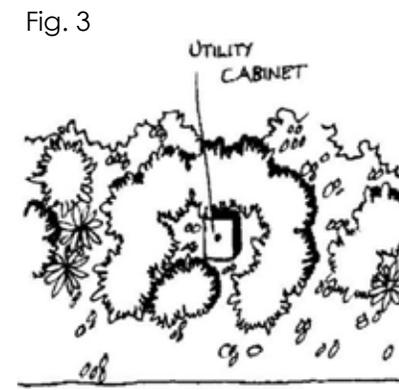
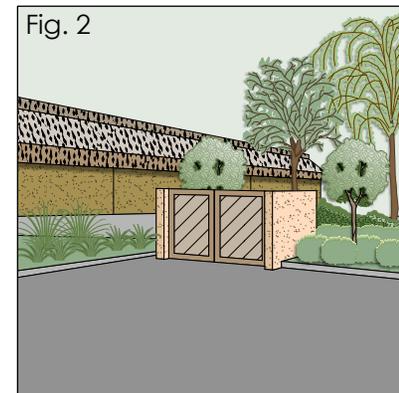
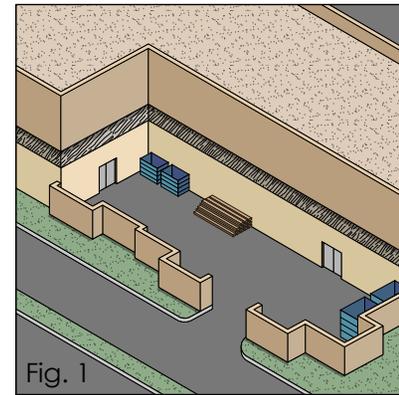
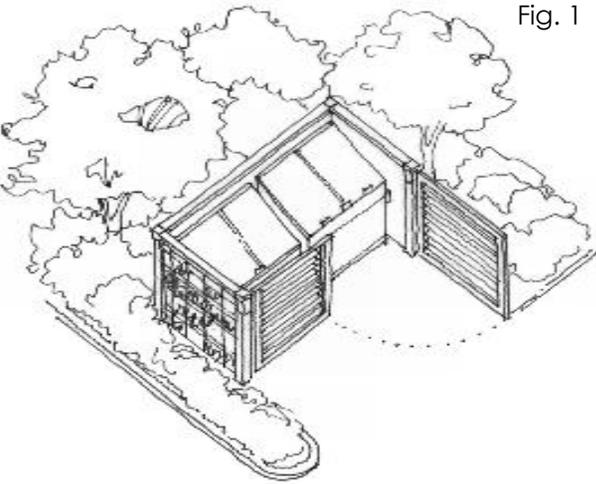


Fig. 1



10. Roof access should be provided from the interior of the building, where feasible.

11. Chain-link gates or fences are prohibited for screening materials.

12. Combining trash enclosures among multiple sites is encouraged when possible.

13. Pedestrian gates, in addition to truck access to trash enclosures, should be provided. (Fig. 1 & 3)

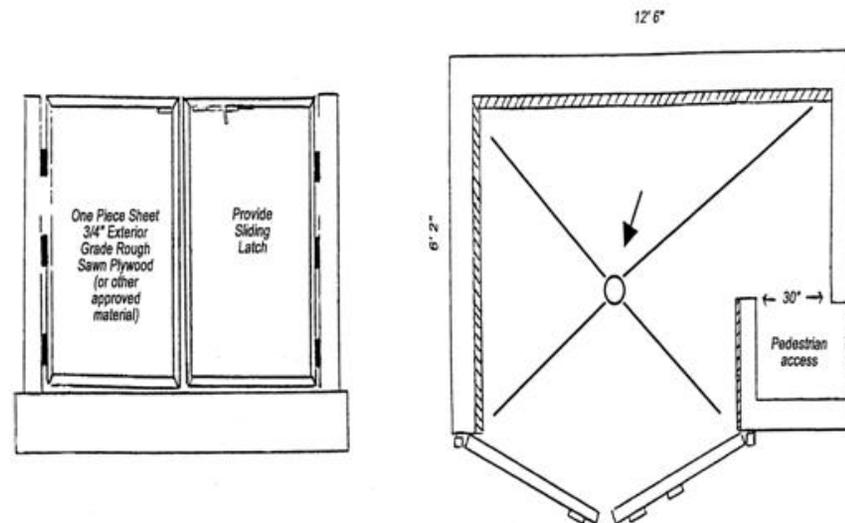
14. If external stairways are necessary, they should be made of the same high-quality materials as the rest of the building. (Fig. 2)

15. Using vegetation to screen utility boxes and pedestals is encouraged.

Fig. 2



Fig. 3



OPEN SPACE AND PEDESTRIAN ACCESS

SITE DESIGN GUIDELINES

1. Avoid using open space as “leftovers.” Integrate open space into the design process with defined edges, benches, lighting, and other welcoming amenities. (Fig. 1)
2. Use high-quality architectural techniques such as trellises, benches, art, natural vegetation, etc. to create an inviting area.
3. Incorporate focal points into open space design to establish a sense of place, orientation, and flow, and use landscaping to focus views on pleasing components of the site and the nearby environment. (Fig. 2)
4. Shade trees are encouraged in pedestrian open-space areas to make the spaces more inviting.
5. A minimum of 20% of the site area in any multiple-family development should be allotted for open space.
6. Sites should include clearly marked walkways to transition from parking to sidewalk, which must be separated from any automobile-heavy areas by landscaping, buffering, etc.
7. A site must be designed with the pedestrian in mind, creating a safe, friendly, and usable human-scale environment. (Fig. 3)





Fig. 1



Fig. 2



Fig. 3

1. Signs should be in scale with and in proportion to the primary building facade so that the signs do not dominate the appearance. (Fig. 1)
2. Sign colors, materials, and design should be compatible with that of the primary building facade.
3. Painted wood and metal are appropriate sign materials.
4. Signs that reflect the type of business through design, shape, or graphic form are encouraged. (Fig. 2)
5. Hanging signs are limited to six (6) square feet, and use high-quality materials. (Fig. 2)
6. The method of attaching the sign to the building should be integrated into the overall sign design. (Fig. 2 & 5)
7. Signs on canopies and awnings are allowed, but must not detract from the style or design of the awning/canopy. (Fig. 3)
8. Signs must not cover up windows or important architectural features.
9. Window signs should be pedestrian-oriented and restricted to a maximum of 40% of ground-floor window area.
10. A single development with more than five (5) users should provide a unifying sign theme.
11. Where several tenants occupy the same site, individual wall-mounted signs should be used in combination with a monument sign identifying the development and address. (Fig. 4)

- 12. Flush-mounted signs should be positioned within architectural features, such as the window panel above the storefront or flanking the doorways.
- 13. One monument sign per project street frontage is allowed, and must be consistent in design with the architecture of the building and adhere to appropriate design guidelines.
- 14. Painted wall signs are prohibited. (Fig. 6)
- 15. Surrounding landscaping should be maintained to not obscure the sign.
- 16. All signage designs should be submitted for approval by the Architectural Review Commission.

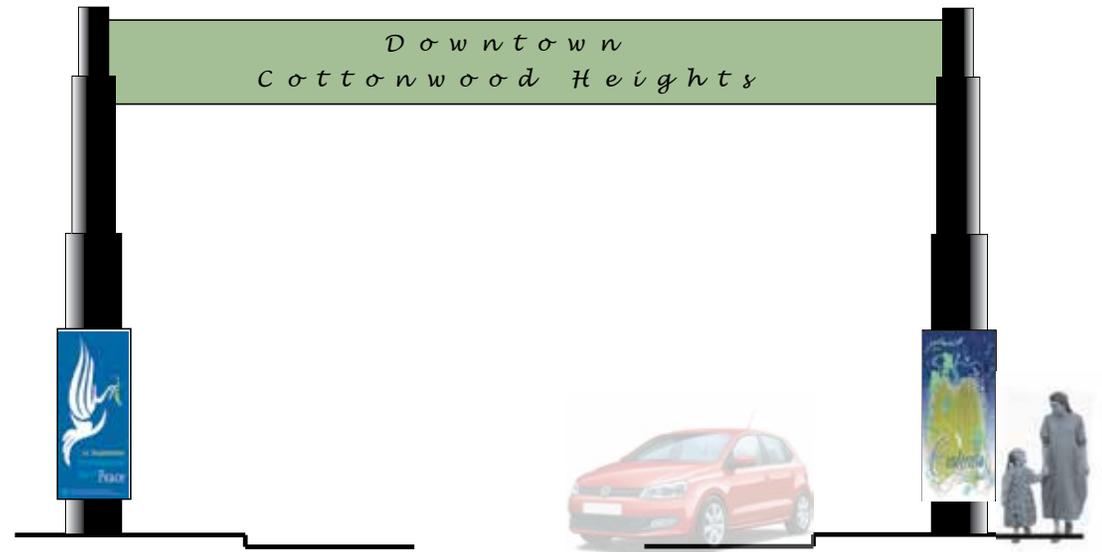




Fig. 1



Fig. 2



Fig. 3

1. Every site should be designed to promote:
 - Natural Access Control - The natural layout of the site should create one or two main access points and force all traffic, auto or pedestrian, to use those points.
 - Natural Surveillance - Each site should be designed so a majority of the site is easily viewable both on-site as well as from any adjacent right-of-ways.
 - Maintenance - Sites should be regularly maintained to promote a clean, safe environment.
2. It is required that the developer considers the basic principles of CPTED and implements these principles in the site plan.
3. Landscaping should be designed to maximize visibility of public spaces and avoid the creation of "hiding places" near building entrances and walkways. All shrubs and ground cover should be maintained to a maximum height of four (4) feet. (Fig. 1)
4. Lighting should be provided at all public entrances, walkways, and courtyards.
5. Windows should be positioned to easily overlook public entrances, walkways, and courtyards in order to provide the natural security of having "eyes on the street." (Fig. 2)
6. Create spaces that allow for easy and natural surveillance. (Fig. 3)
7. It is encouraged to provide windows, balconies, decks, etc. along street-side building elevations.
8. If the site is adjacent to a street, the site should be designed in a manner that allows passing traffic to provide natural surveillance to the site.

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

SITE DESIGN GUIDELINES

9. Any potential problem areas, such as parking garages, staircases, sidewalks, ATMs, plazas, service areas, etc. must be well-lit.
10. Limit the number of entrances to a building or site.
11. Use structures and landscaping to direct pedestrian flow to safe and open public areas.
12. Design features that provide easy access to roofs or upper levels are discouraged.
13. Spaces should be constructed in a manner that feels open to multiple viewpoints at all times. (Fig. 4)
14. If areas are designed to feel safer, they usually are safer.
15. Open spaces should be designed to be utilized by multiple sites if possible, in order to promote large groups of pedestrians at all times. (Fig. 5)
16. Neglected sites create an unsafe environment. All sites should be maintained regularly and kept to a high standard to promote safety and activity.

Eyes on the street

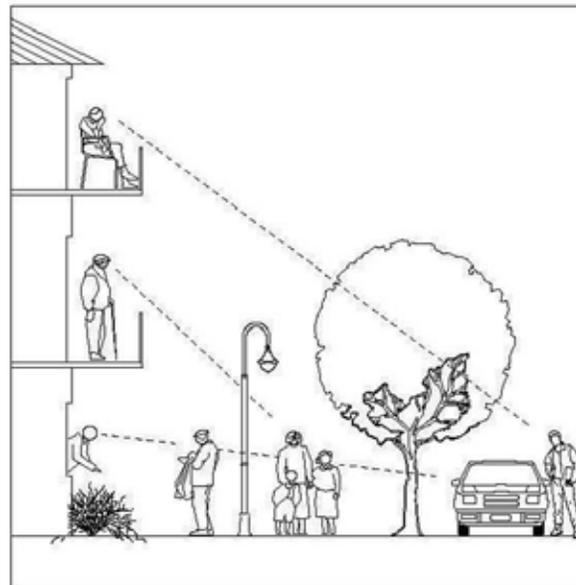


Fig. 4



Fig. 5

SITE LIGHTING



Fig. 1

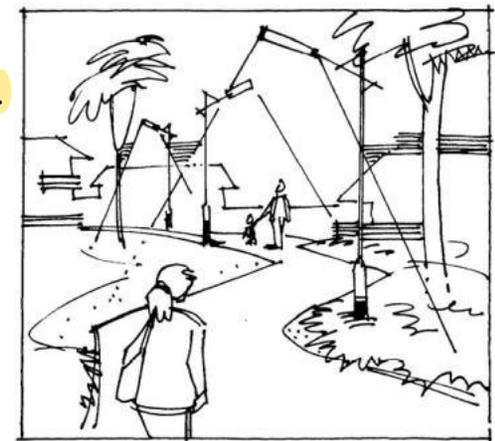


Fig. 2



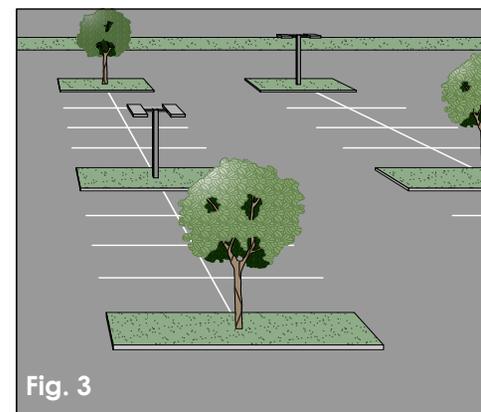
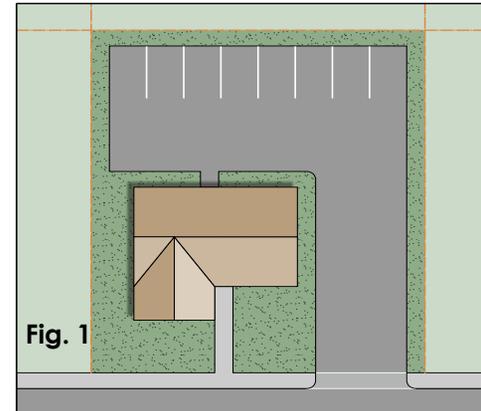
Fig. 3

1. Parking lot lighting should create a continuous illuminated environment for pedestrians and motorists, while also complementing the overall design of a site. (Fig. 1)
2. Limit parking lot light poles to a maximum of eighteen (18) feet to maintain a human scale and adhere to the CWH ordinance.
3. Lighting should provide ambiance, safety, and security with no unnecessary spillover or glare onto adjacent properties. This guideline is especially important if the adjacent property is residential.
4. Energy-efficient lighting techniques are recommended, and lights must not detract from the architecture of a site. Site lighting should not be the first thing that is noticed when viewing a site.
5. Blinking and flashing lights, as well as exposed neon lighting used to outline or illuminate building facades, are prohibited.
6. The use of energy-efficient lighting is encouraged.
7. Security lighting should be recessed, hooded, and illuminate only the area it is intended for, with no glare to adjacent sites.
8. Exterior lighting is to be limited to areas needed for safety and security only.
9. Bollard-style lighting is encouraged along pedestrian walkways. (Fig. 2)
10. Lighting should be shielded downward to prevent light spillover. (Fig. 3)



PARKING

1. Parking areas should be treated as well-defined spaces with landscaping, lighting, and effective pedestrian and vehicular circulation.
2. Parking should be located behind buildings when possible. (Fig. 1)
3. Parking lots should provide areas for bicycle and motorcycle parking.
4. Shared parking between adjacent businesses is encouraged.
5. When possible, avoid large expansive parking areas. Create small, connected parking lots with shared driveways located on side streets. (Fig. 2)
6. Balance the need to provide adequate vehicle access with the need to eliminate unnecessary driveway entrances.
7. Landscaping is required in parking lots to break up the monotony of continuous asphalt. For exact landscaping requirements, refer to Section 19.80 of the CWH zoning ordinance. (Fig. 3)
8. Merchandise loading areas should be screened and located to the sides or rear of a building when possible.
9. Provide decorative lighting and landscaping to enhance parking areas, as well as to reduce visual impact.
10. Landscaping should be used to partially screen the ground-level view of a parking lot from major right-of-ways and adjacent sidewalks.
11. Landscaping within a parking area should be elevated on a curb to avoid collisions.



PARKING CONT.

Fig. 1

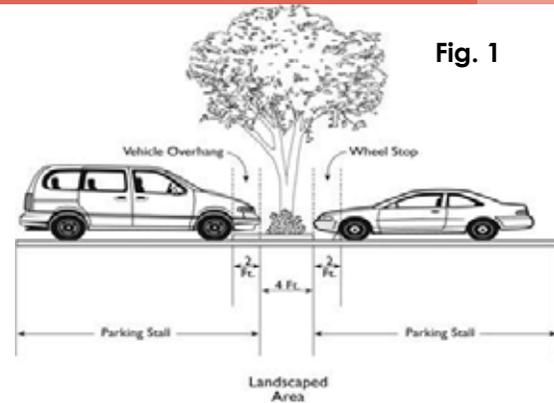
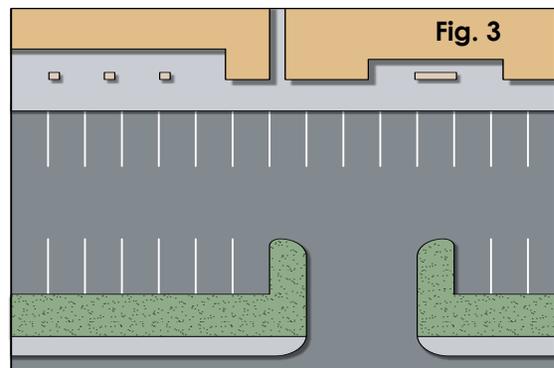


Fig. 2

Fig. 3



13. No landscape buffer or barrier between parking lots and adjacent uses should exceed three (3) feet in height. (Fig. 1)
14. Shaded pedestrian walkways from the parking lot to the building on site are encouraged.
15. Use techniques such as aisles with angled parking to improve circulation and safety in parking lots.
16. Vehicular curb overhang must not obstruct any pedestrian walkway.
17. Provide a hardscape material or brick paver for any walkways that intersect a vehicular access drive. (Fig. 2)
18. Parking should not be provided directly along primary access driveways.
19. Parking areas should be designed to prevent conflict between service and regular vehicles, as well as between pedestrians and vehicles.
20. If a wall is used as a parking lot screen, it should be made of high-quality, attractive material, should be articulated if it exceeds 30 feet in length, and should be no higher than three (3) feet.
21. The use of different materials (cobblestone, brick, etc.) at main site entrance points is encouraged.
22. Reciprocal access easements are encouraged for internal vehicular movements between commercial developments.
23. When adjacent sites share parking, circulation through the parking lot must be uniform across both sites. (Fig. 3)
24. Parking lots should be designed with a hierarchy of circulation: major access drives without parking spots; major circulation drives with little parking; individual parking aisles for direct access to parking spots. Hierarchy should be modified to fit the size of the project.
25. Landscaping at points of entry or the ends of parking rows should be minimal and well-maintained to not obscure the driver's line of sight.

PARKING STRUCTURES

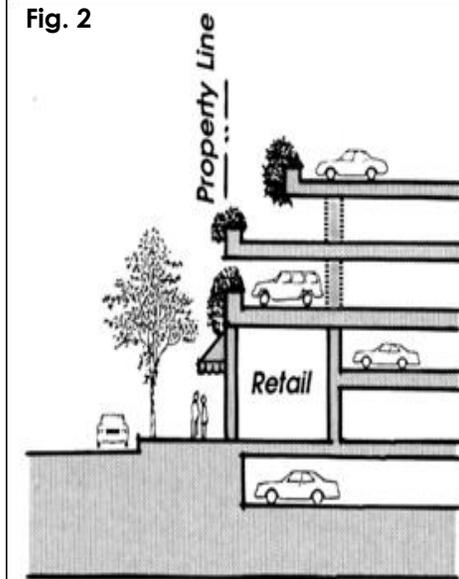
SITE DESIGN GUIDELINES

1. Parking structures should be architecturally consistent with any on-site buildings.
2. Do not locate ground-level parking structures along main roads, unless it is unavoidable.
3. For public parking structures, ground-floor retail is encouraged. (Fig. 1-3)
4. Orient the shortest dimension of the structure along the street to minimize the visual impact of the structure.
5. When practical, include landscape elements on the top level of parking structures that are visible from public view to soften the appearance of the top of the structures, as well as to screen the view of cars on top. (Fig. 2)
6. Structures should adhere to design guidelines to create a visually-pleasing structure.

Fig. 1



Fig. 2

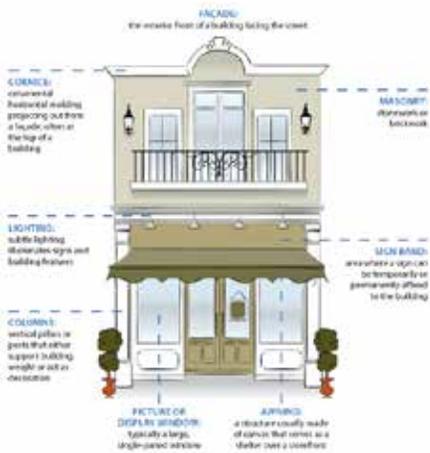


Incorporate retail or other compatible uses on ground floor whenever possible.

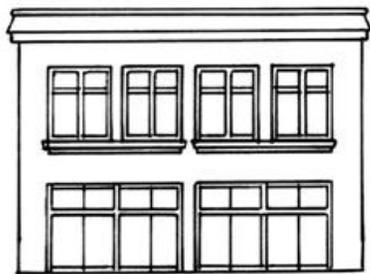
Fig. 3



30 GLOSSARY



Facade details



Articulate openings

Articulation

Aesthetic - Having a sense of beauty.

Amenity - An aesthetic or functional feature of a development that increases its marketability or usability to the public.

Arch - The curved head of an opening, such as a doorway.

Architectural Metal - Metal used in building design to enhance decorative features, such as doorknobs or cladding.

Articulation - The manner in which portions of a building's form (color, texture, pattern, etc.) is expressed and comes together to define the structure.

Awning - A roof-like cover that extends over or in front of a place (e.g. window or door) as a shelter.

Bollard Lights - Short, upright, ground-mounted lights that are commonly used to light walkways, steps, etc.

Brick Sill - A common type of exterior window sill in brick walls in which bricks protrude past the wall line to allow water to fall directly to the ground, as well as enhance articulation.

Buffer - An intermediate or intervening "shield," usually composed of heavy material or landscaped vegetation, that mitigates the impact of one site on adjacent sites.

Building Floodlighting - A style of lighting in which powerful lights are projected at a building facade to illuminate the entire facade.

Building Footprint - The outline of the total area of a lot or site that is surrounded by the exterior walls of a building or portion of a building.

Building Form - The three-dimensional projection of a building footprint; how the building actually looks.

Canopy - A removable fabric or plastic covering over a public walkway.

Cast Stone - A refined architectural concrete building unit manufactured to simulate natural cut stone.

Courtyard - An area open to the sky, usually enclosed on all four sides.

Cornice - A molded or projecting horizontal feature that crowns a facade.

CPTED - Crime Prevention Through Environmental Design. It is an aspect of design that creates safety in developments through design techniques.

Deciduous – Plants that annually sheds leaves.

Design Guidelines - A set of guidelines that provides descriptions and examples of commonly used design principles. They are suggestive and advisory in nature, and are provided in addition to existing zoning regulations. They provide basic information and design criteria, but they do not attempt to address all of the design issues related to site and architectural development.

Dormer - A structural element of a building that protrudes from the plane of a sloped roof.

Downspout - A vertical pipe for carrying rainwater from a rain gutter to ground level.

Eave - The lower edge of a roof that projects slightly beyond a building's exterior walls.

Elements - Integral parts of a built environment. They includes floors, walls, beams, columns, and fenestration.

Evergreen - Plants that maintain leaves year round.

Eyes on the Street - A CPTED principle referring to surveillance derived naturally from the number of people viewing a street or public place.

Facade - Any side of a building facing a public way or space.

Footcandle - A unit used to measure illumination. One foot-candle has equal illumination as is produced by a source of one candle at one foot away.

Four-sided Design - Designing a building so that every side of a building has a similar level of architectural detail and articulation.

Gable - The triangular portion of a wall between two sloped edges of a roof.

Glass Curtain Wall - An outer covering of a building in which the outer walls are non-structural, but merely keep out the weather.

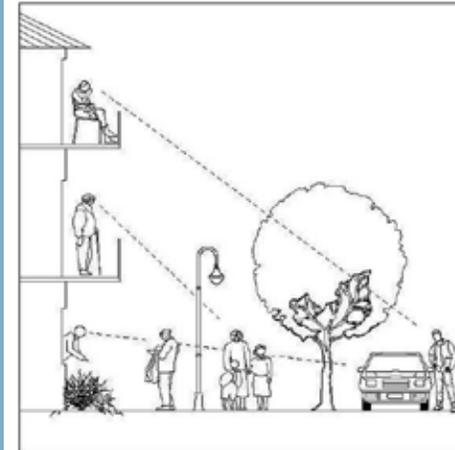
Glazing - A term used to describe glass or other transparent materials in windows.

Heavy Materials - Sturdy materials, such as masonry, stone or integrally-colored split-face block.

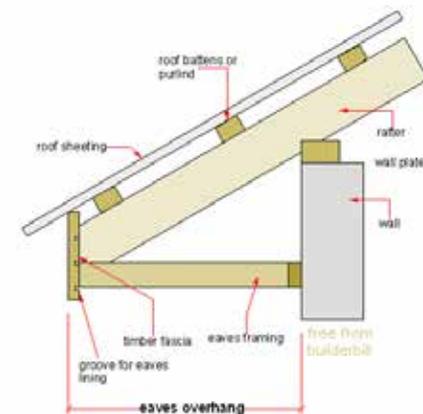
Human Scale - Design that is most favorable and welcoming to pedestrians rather than to automobiles.

Integrally-colored Split-face Block - A cement block with a broken rock-face appearance.

31 GLOSSARY

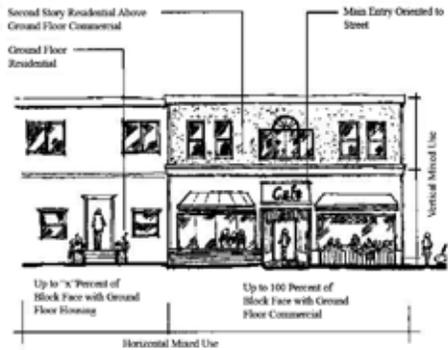


Eyes on the Street

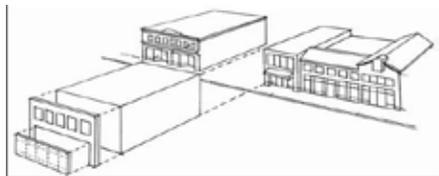


Roof detail

32 GLOSSARY



Mixed-use



Multiple-building development

Knee Wall - A short wall, not usually more than three feet in height. Knee walls are used as buffers between ground-floor windows and the ground.

Light Materials - Materials such as high-quality wood, cement board, metal, glass curtain wall.

Lintel - An architectural component found above an opening, used either for support or decoration.

Massing - The three-dimensional bulk of a structure (height, width, and depth).

Medium Materials - Materials such as stucco or water-managed EIFS.

Mixed-use Development - When more than one land-use type occurs on the same site, such as retail and multiple-family residential developments sharing the same site.

Monotonous - Lacking in variety.

Monument Sign- A ground sign with low overall height.

Multiple-building/Multiple-unit Development - A site that contains more than one building, either attached or detached, such as a strip mall development or apartment complex.

National Franchise/Big Box Store - A store with "iconic" architecture, recognizable nation- or world-wide (e.g. McDonald's, Walmart, etc.).

Open Space - Land (or water) with its surface open to the natural environment and largely undeveloped, that is set aside to provide recreation opportunities, to conserve natural resources, and for structuring urban form and development.

Ornamental Lighting - Lighting on a building or site with an emphasis on aesthetic rather than functional appeal.

Parapet - A wall-like barrier at the edge of a roof or balcony that often runs along the length of a building's roof.

Pedestrian - A person traveling on foot.

Pedestrian Traffic Area - Any area designed and used to circulate through a site on foot.

Pilaster- A pier attached to a wall with a shallow depth and sometimes treated as a classical column with a base, shaft and capital.

Plaza - A public square, marketplace, or similar open space.

Pocket Park - A small park accessible to the general public.

Projection - Any protrusion outward from the vertical surface of a building's facade.

Public Entrance - An entrance that can be used by anyone.

Projection - Any protrusion outward from the vertical surface of a building's facade.

Public Entrance - An entrance that can be used by anyone.

Recess - Any indentation inward from the vertical surface of a building's facade.

Recessed lighting - A light inserted into a hollow opening, giving the appearance of light coming out of the opening without seeing the actual source of illumination.

Reciprocal Access - Connected parking areas between adjacent sites.

Right-of-Way - A strip of land, including the space above and below ground, that is platted, dedicated, condemned, and established by prescription or otherwise legally established for the use of pedestrians, automobiles, or utilities.

Soldier Course - A row of bricks, all oriented the same direction, and turned sideways so the long, narrow side of the bricks are showing. They are effective as border architecture.

Stone Cap - The top stone of a structure or wall.

Storefront - The front of a non-residential building that borders a main access point and is the primary entrance for customers.

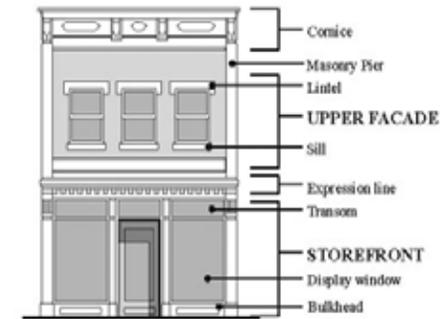
Streetscape- The visual character of a street as determined by elements such as structures, access, greenery, open space, view, etc. The scene as may be observed along a public street composed of natural and man-made components, including buildings, paving, planting, street hardware, and miscellaneous structures.

Stucco - Fine plaster used for coating wall surfaces or molding into architectural decorations.

Synthetic Material - Building material that is made to simulate the appearance of actual material such as brick, stone, wood, etc.

Trellis - A frame or structure of latticework.

Wall Cap - A cap used to finish off the top of a knee wall or half wall.

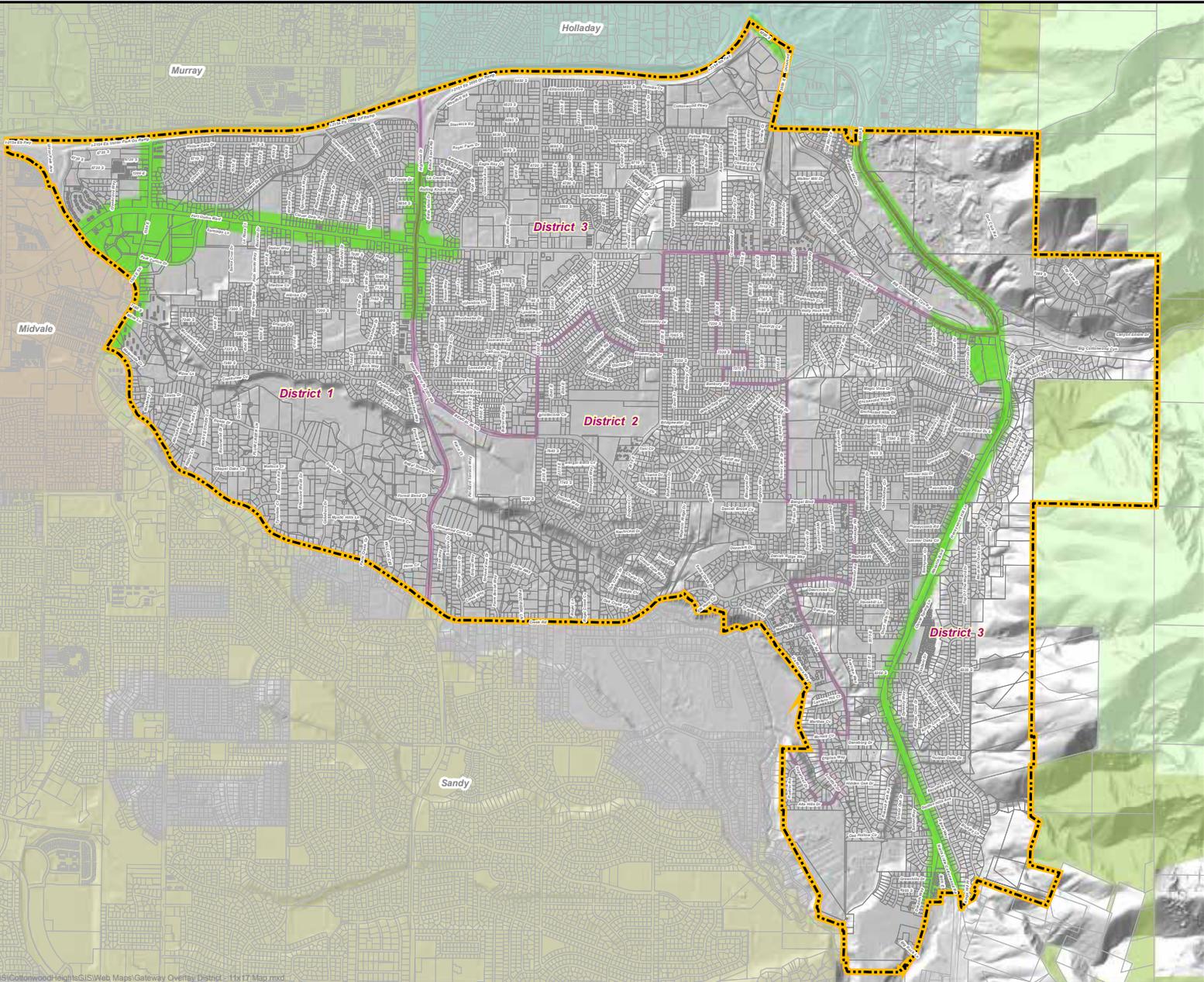


Storefront detail

Gateway Overlay District

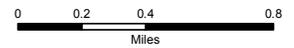


Gateway Overlay Map



- Map Legend -

- Street Names
- City Boundary
- Parcels
- Council Districts
- Gateway Zones
- Non Wilderness Forest Areas
- Wilderness Areas
- Holladay
- Midvale
- Murray
- Sandy



Published: 30 December 2010

Sources: Utah State AGRC
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Cottonwood Heights

