



ARCHITECTURAL REVIEW COMMISSION MEETING AGENDA

Department of Community and Economic Development
Meeting Date: September 12, 2019

Notice is hereby given that the Cottonwood Heights Architectural Review Commission will hold a meeting (City Council Work Room) beginning at **6:00 p.m. on Thursday, September 12, 2019**, located at 2277 E. Bengal Blvd., Cottonwood Heights, Utah.

6:00 p.m. BUSINESS MEETING

1.0 Welcome and Acknowledgements

- 1.1. Ex Parte Communications or Conflicts of Interest to Disclose
- 1.2. Meeting Training

2.0 Business Items

2.1 (Project SPL-19-010)

Action on a request by YESCO Signs for approval of a Certificate of Design Compliance for two new monument signs located at 6975 & 6985 S Union Park Center.

2.2 (Project SPL-19-011)

Action on a request by Brad Taylor of Bird Enterprises for approval of a Certificate of Design Compliance for an exterior façade remodel at 1950 E. Fort Union Blvd.

2.3 (Project SPL-19-007)

Action on a request by John Prince for approval of a Certificate of Design Compliance for 23 mixed-use live-work townhomes at approximately 1650 E. Fort Union Blvd.

2.4 (Project CUP-19-008)

Action on a request by Nathan Anderson for approval of a Certificate of Design Compliance for 13 mixed-use live-work townhomes at 1810 E. Fort Union Blvd.

3.0 Consent Agenda

3.1 Approval of Minutes:

- April 24, 2019
- May 30, 2019
- June 27, 2019
- July 18, 2019

4.0 Adjournment

Meeting Procedures

Items will generally be heard in the following order:

1. Staff Presentation
2. Applicant Presentation
3. Architectural Review Committee Deliberation
4. Architectural Review Committee Motion and Vote

Architectural Review Commission applications may be tabled if: 1) Additional information is needed in order to act on the item; OR 2) the Architectural Review Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. **NO agenda item will begin after 9 pm** without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regularly scheduled meeting.

Submission of Written Public Comment

Written comments on any agenda item should be received by the Cottonwood Heights Community and Economic Development Department no later than the day prior to the meeting at noon. Comments should be emailed to ahulka@ch.utah.gov. After the public hearing has been closed, the Planning Commission will not accept any additional written or verbal comments on the application.

Notice of Participation by Telephonic/Digital Means

Architectural Review Commission may participate in the meeting via telephonic communication. If a Commissioner does participate via telephonic communication, the Commissioner will be on speakerphone. The speakerphone will be amplified so that the other Commissioners and all other persons present in the room will be able to hear all discussions.

Notice of Compliance with the American Disabilities Act (ADA)

In compliance with the Americans with Disabilities Act, individuals needing special accommodations or assistance during this meeting shall notify the City Recorder at (801) 944-7021 at least 24 hours prior to the meeting. TDD number is (801) 270-2425 or call Relay Utah at #711.

Confirmation of Public Notice

On Friday, September 6, 2019 a copy of the foregoing notice was posted in conspicuous view in the front foyer of the Cottonwood Heights City Offices. The agenda was also posted on the City's website at www.cottonwoodheights.utah.gov and the State Public Meeting Notice website at <http://pmn.utah.gov>.

DATED THIS 6th DAY OF SEPTEMBER 2019
Paula Melgar, City Recorder



ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

Union Park Monument Signs

Meeting Date: September 12, 2019

Staff Contact: Andy Hulka, Associate Planner

Summary

Applicant: Yesco LLC

Subject Properties

6975 & 6985 S. Union Park Ctr.

Action Requested

Certificate of Design Compliance:

Approval of two new monument signs in the Gateway Overlay District.

Recommendation

Approve, with conditions.

Project #: SPL-19-010



Context

Property Owner

James Campbell Company, LLC

Acres

Approx. 6.5 acres

Parcel #

22-20-478-027-4001

22-20-478-027-4002

22-29-226-025-0000

22-29-226-027-0000

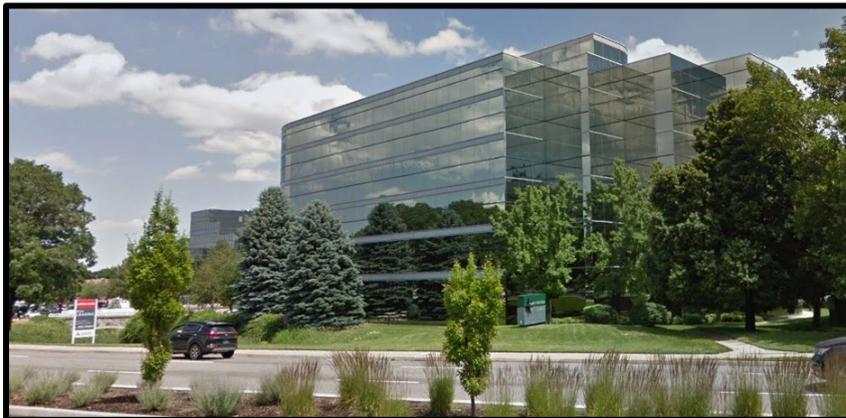


Site Photos

6975 S. Union Park Ctr.



6985 S. Union Park Ctr.



Zoning

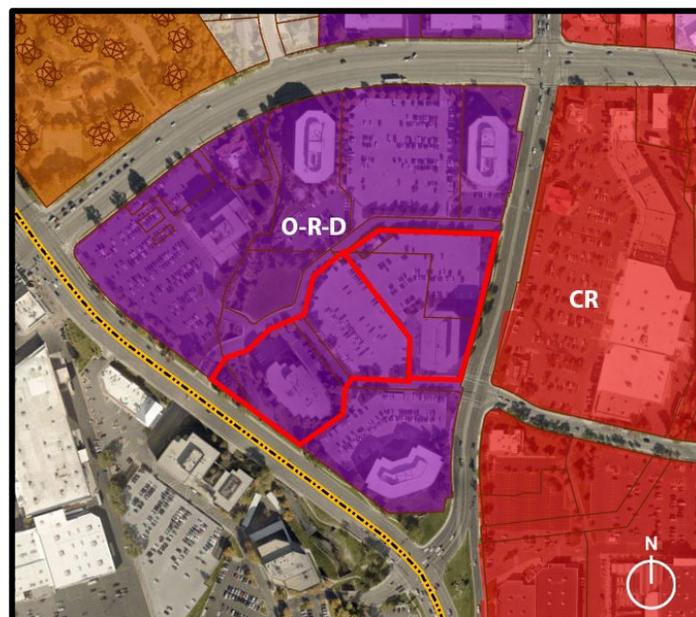
Site

O-R-D: Office, Research and Development zone

Surrounding Properties

O-R-D: Office, Research and Development zone

CR: Regional Commercial zone



Analysis

Request

An application has been made by Yesco, LLC for approval of a Certificate of Design Compliance for two new monument signs at 6975 & 6985 S. Union Park Center. The subject properties are in the Gateway Overlay District, so the proposed signs require Architectural Review Commission consideration and issuance of a Certificate of Design Compliance before they can be installed.

Architectural Review Commission Authority

The ARC is required to review new signs for compliance with applicable design guidelines and compatibility with surrounding properties, as required by section 19.49.060 of the zoning ordinance:

19.49.060 Gateway Overlay District.

C. Certificate of design compliance. A certificate of design compliance issued by the ARC shall be required before proceeding with any new development or changes to existing development in a Gateway Overlay District. No alteration of the existing condition of land, structures, signs, landscaping or lighting, including, without limitation, demolition of any structure, application of new exterior siding material, creation of a new window or dormer, creation of a driveway or parking facility, construction of a deck, fence or garage, or enclosure of a porch shall be permitted within the Gateway Overlay District except as provided in this chapter.

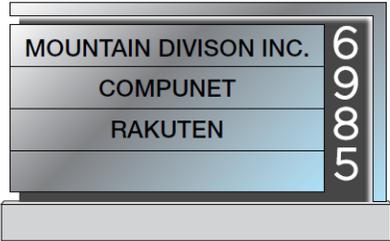
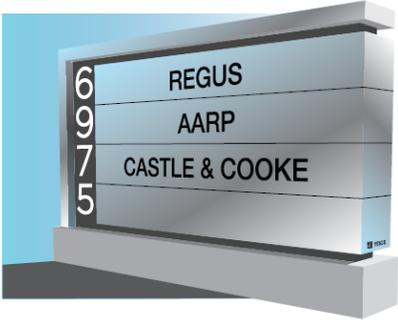
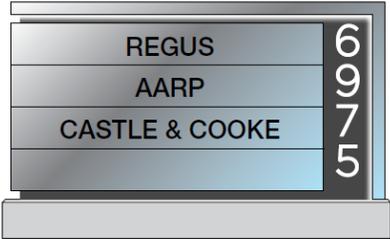
D. General review criteria. The ARC must determine that the following general review criteria are met before issuing a certificate of design compliance for a project:

- 1. The proposed work must comply with the applicable design guidelines for that overlay district;*
- 2. The integrity of an individual historic structure is preserved, if applicable;*
- 3. The design of new buildings or additions must be compatible with surrounding gateway properties; and,*
- 4. The overall character of the Gateway Overlay District is protected.*

Proposal

The applicant submitted the following statement for ARC consideration:

- *“The proposed signage applications have been reviewed, and have been found to be in compliance with the current Cottonwood Heights Zoning and Building Codes.*
- *The proposed signage will improve the visibility of the building address and the tenants that do business in the respective buildings. This will not only assist Police and Fire Departments with safety issues, it will give the motoring public a sign to reference the individual tenants of the buildings.*
- *We feel that the spatial relationship of the “6975” sign will be much improved over the existing single-faced monument sign that is currently installed against the wall. The “6985” replacement sign gives the public a more easily read display. Due to the property line setback, we will install at the minimum setback allowed, which is currently occupied by the existing display. We also feel that there will be no negative line-of-sight issues or clearance problems.*
- *The sign displays have been designed with the building architecture in mind. By using the same color and material scheme as the buildings, they are designed to complement, rather than contrast with the building architecture.”*



This sign to be removed and install new



Night view



DESIGN GUIDELINES

Staff recommends that the ARC review the proposed signs to determine whether the proposed design is in harmony with applicable design guidelines. Some of the applicable sign guidelines include:

Signs

- Sign colors, materials, and design should be compatible with that of the primary building façade. (p. 22, #2)
- A single development with more than five (5) users should provide a unifying sign theme. (p. 22, #10)
- One monument sign per project street frontage is allowed, and must be consistent in design with the architecture of the building and adhere to appropriate design guidelines. (p. 23 #13)

Recommendation

Staff has concluded that the application meets the requirements of the City Code and Design Guidelines, and recommends approval of a Certificate of Design Compliance.

Model Motions

Approval

I move to issue a Certificate of Design Compliance for project SPL-19-010:

- List any additional conditions of approval...

Denial

I move to deny a Certificate of Design Compliance for project SPL-19-010, based on the following findings:

- List findings for denial...

Attachments

1. Applicant Narrative
2. Sign Plans

July 31, 2019



YESCO LLC
1605 S Gramercy Road
Salt Lake City, UT 84104

Cottonwood Heights City
Architectural Review Commission
2277 East Bengal Boulevard
Cottonwood Heights, UT 84121
Phone: 801-944-7000
Email: ahulka@ch.utah.gov

Narrative: File # 19-0591 Union Park Group Monument Signs, 6975/6985 Union Park Ave.

Dear Architectural Review Commission,

It was brought to my attention that the property on which we are requesting to install new signage falls into Cottonwood Height's Gateway Overlay District, and will require additional information and processing.

Please accept this narrative & additional information for your review and consideration.

- **The proposed signage applications have been reviewed, and have been found to be in compliance with the current Cottonwood Heights Zoning and Building Codes.**
- **The proposed signage will improve the visibility of the building address and the tenants that do business in the respective buildings. This will not only assist Police and Fire Departments with safety issues, it will give the motoring public a sign to reference the individual tenants of the buildings.**
- **We feel that the spatial relationship of the "6975" sign will be much improved over the existing single-faced monument sign that is currently installed against the wall. The "6985" replacement sign gives the public a more easily read display. Due to the property line setback, we will install at the minimum setback allowed, which is currently occupied by the existing display. We also feel that there will be no negative line-of-sight issues or clearance problems.**
- **The sign displays have been designed with the building architecture in mind. By using the same color and material scheme as the buildings, they are designed to complement, rather than contrast with the building architecture.**

Narrative: File # 19-0591 Union Park Group Monument Signs, (continued)

Thank you to the Architectural Review Commission for considering our Application. Please feel free to contact me for any additional information that may be necessary for your timely review.

Sincerely,
YESCO LLC



Charlie Taylor
Project Manager
801-464-6468 Office
801-295-5928 Cell
ctaylor@yesco.com

Revisions:	No.	Date	Description
1	1/1/17		REVISED BUILDING LOCATION

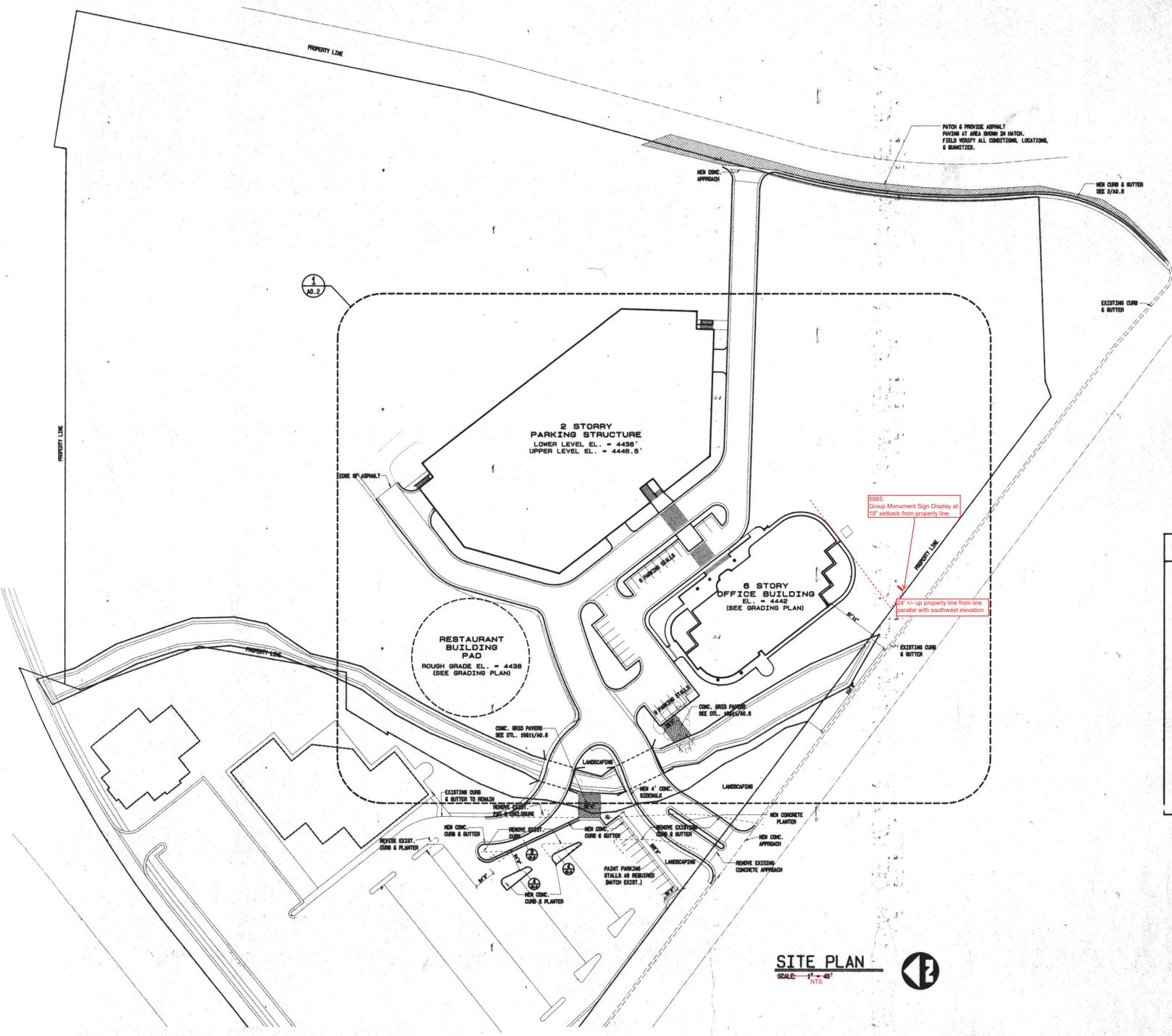
UNION PARK CENTER PHASE III
OFFICE BUILDING / PARKING STRUCTURE
 DEVELOPED BY TERRA INDUSTRIES

- GENERAL NOTES:**
1. PRIOR TO COMMENCING WORK, VERIFY ALL CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 2. FIELD VERIFY/ OR VERIFY WITH UTILITY COMPANIES THE EXACT LOCATION AND ELEVATIONS OF ALL UTILITIES BEFORE FINISHING NEW PIPING.
 3. MATCH EXISTING CONCRETE SCHEDULES, CURBS, & BUTTERS TO EXISTING. PATCH & REPAIR AS NECESSARY.
 4. PATCH AND REPAIR ALL ASPHALT PAVING FINISHED ON DAMAGED DURING CONSTRUCTION.
 5. ALL CONCRETE SCHEDULES, CURBS, BUTTERS, AND DRIVE APPROACHES SHALL COMPLY WITH SALT LAKE COUNTY SPECIFICATIONS & REQUIREMENTS.
 6. THE CONTRACTOR SHALL COORDINATE ALL CURB, BUTTER, & PAVING ADJOINING BANK WITH THE BANK CONTRACTOR.
 7. PROVIDE SEALANT AT ALL CONCRETE EXPANDED JOINTS.
 8. ASPHALT ROADWAY AREAS SHALL BE CONSTRUCTED AS SHOWN ON DTL. 17/AD.8 & SPECIFICATIONS.
 9. ASPHALT PARKING AREAS SHALL BE CONSTRUCTED AS SHOWN ON DTL. 16/AD.8 & SPECIFICATIONS.
 10. ROUGH GRADING & LANDSCAPING AREAS SHALL BE DEVELOPED AS SHOWN ON 04/AD.8 & SPECIFICATIONS.

WHEELS & VALENTINER & ASSOCIATES
 ARCHITECTS/PLANNERS

524 SOUTH 600 EAST
 SALT LAKE CITY, UTAH 84103
 801.551.9422

Date:	MAY 11, 1997
Drawn:	BIT
Checked:	BJJ
Scale:	1" = 40'-0"
Layers Used:	
File No.:	00330
Drawing Description:	OVERALL SITE PLAN
Drawing No.:	AO.1



SITE PLAN
 SCALE: 1" = 40'
 NTS





ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

First Med Façade Remodel

Meeting Date: September 12, 2019

Staff Contact:

Samantha DeSeelhorst, Assistant Planner & Sustainability Analyst

Summary

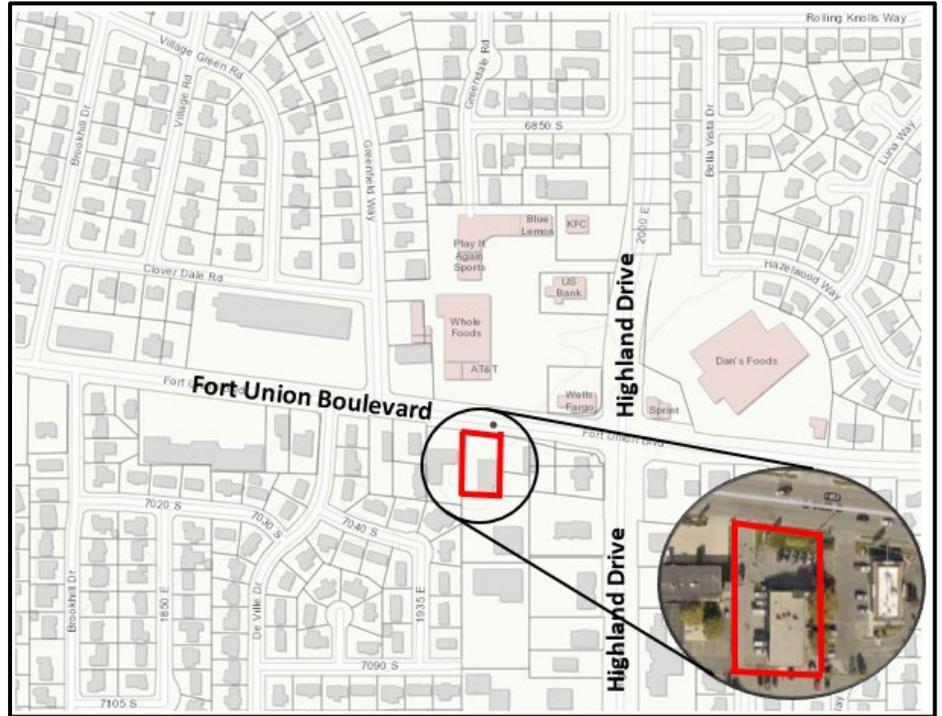
Applicant: Brad Taylor of Bird Enterprises, on behalf of Evelyn Saunders of Saunders Holdings, LLC

Project Address: 1950 E. Fort Union Blvd.

Project Number: SPL-19-011

Actions Requested: The applicant is requesting issuance of a Certificate of Design Compliance for an exterior façade remodel at 1950 E. Fort Union Blvd. within the Regional Commercial (CR) Zone. The building is a First Med Clinic.

Recommendation: Approval



Context

Subject Properties: 1950 E Fort Union Blvd.

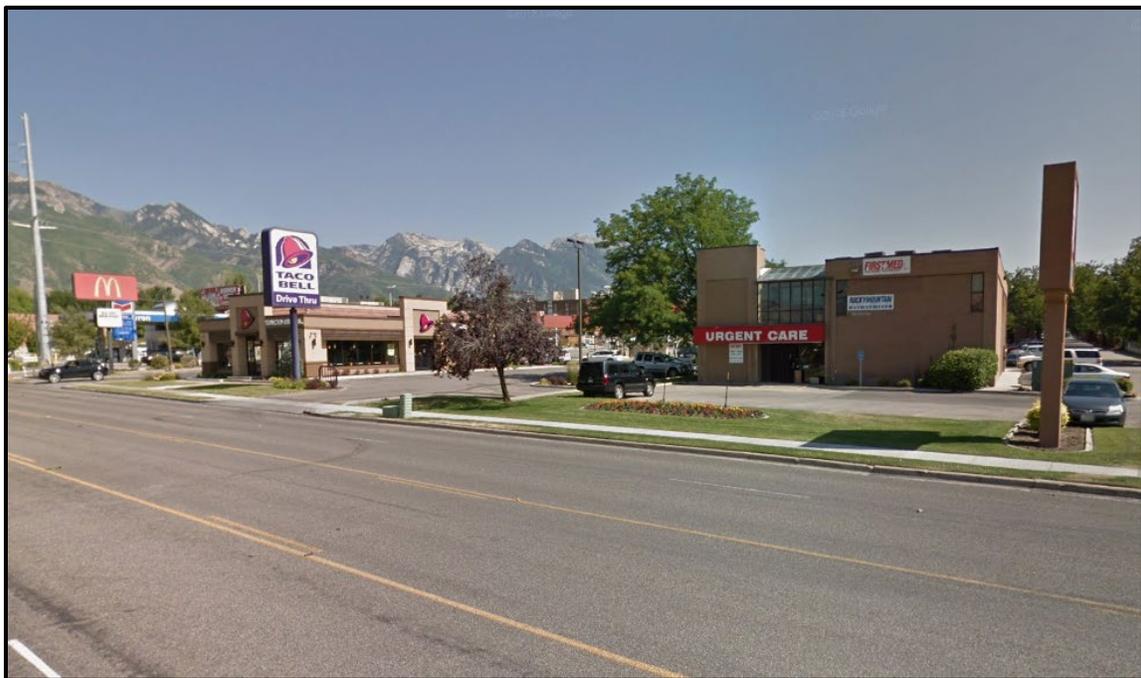
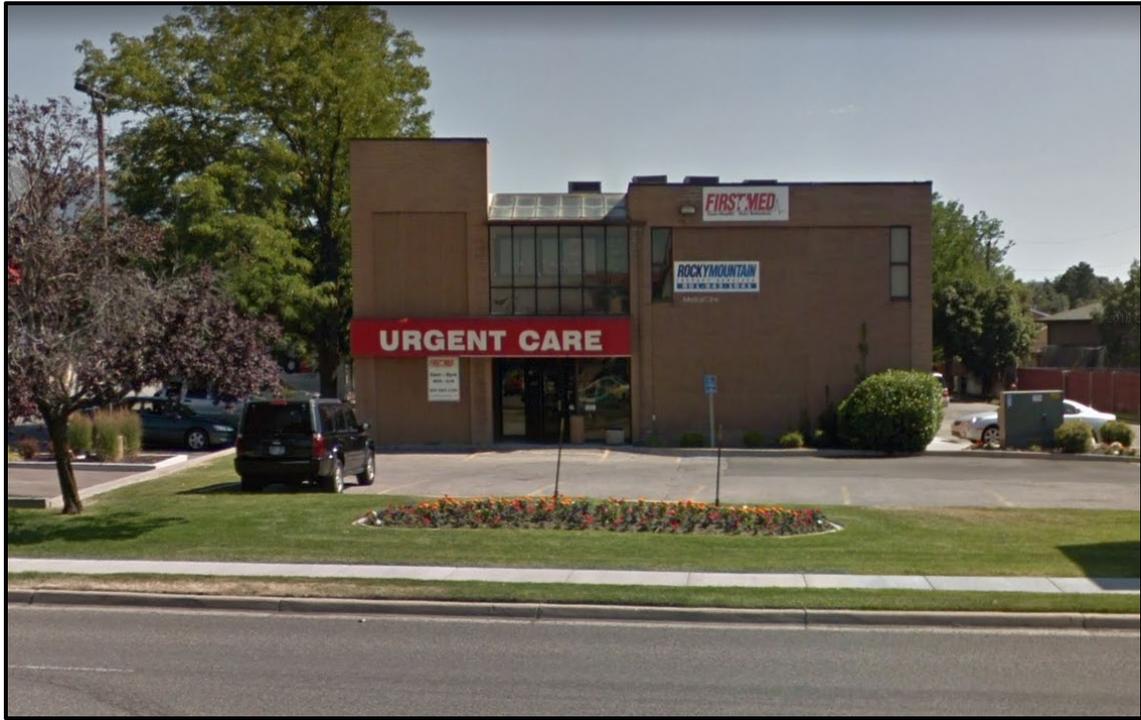
Property Owner: Saunders Holdings, LLC

Acres: 0.45

Parcel #: 22-21-483-013-0000



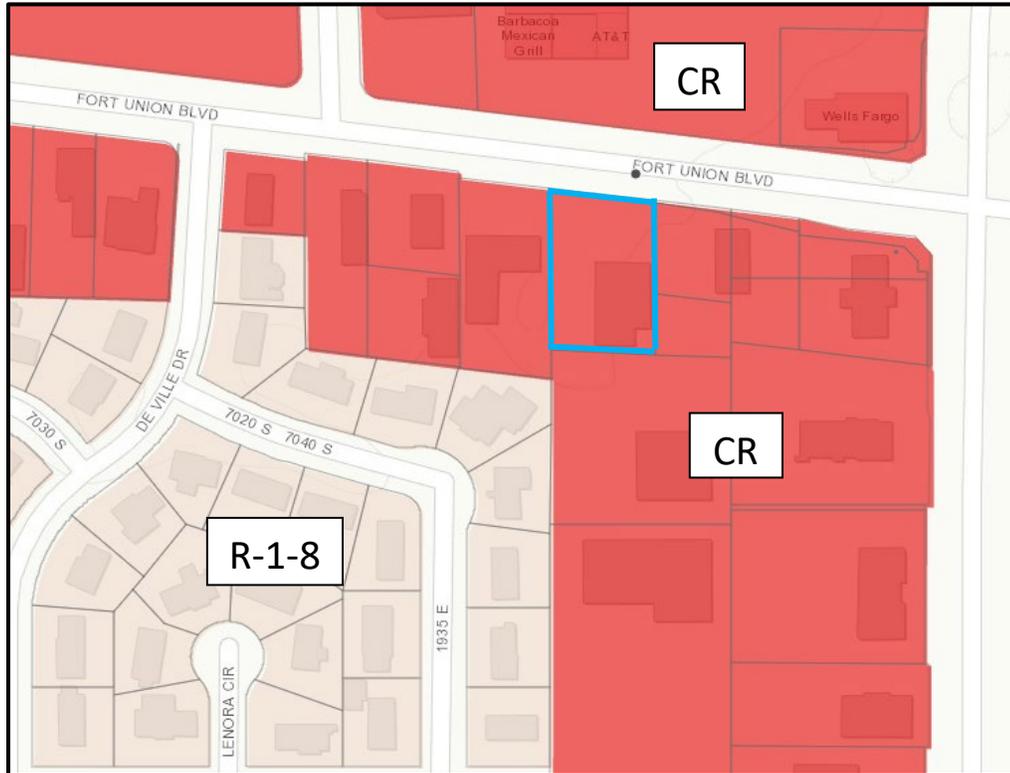
Site Photos



Zoning

Site: CR (Regional Commercial)

Surrounding Properties: R-1-8 (Residential Single-Family)



Analysis

Request

An application has been made by Brad Taylor of Bird Enterprises on behalf of Evelyn Saunders of Saunders Holdings, LLC, for approval of a Certificate of Design Compliance for an exterior façade remodel at 1950 E. Fort Union Blvd. within the Regional Commercial (CR) Zone. The building is a First Med Clinic.

Architectural Review Commission Authority

The ARC is required to review remodels for compliance with applicable design guidelines, as required by section 19.49.060 of the zoning ordinance:

19.49.060 Gateway Overlay District.

C. Certificate of design compliance. A certificate of design compliance issued by the ARC shall be required before proceeding with any new development or changes to existing development in a Gateway Overlay District. No alteration of the existing condition of land, structures, signs, landscaping or lighting, including, without limitation, demolition of any structure, application of new exterior siding material, creation of a new window or dormer, creation of a driveway or

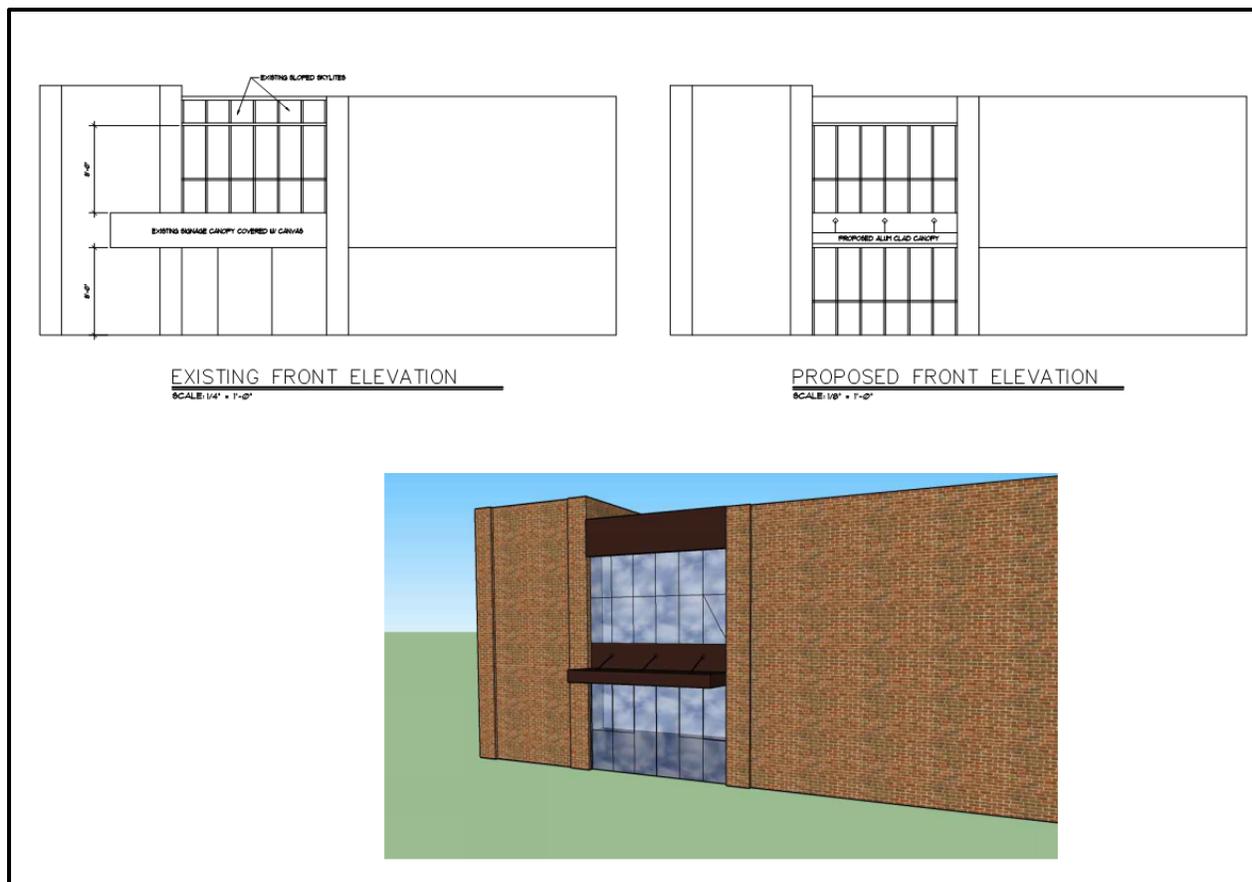
parking facility, construction of a deck, fence or garage, or enclosure of a porch shall be permitted within the Gateway Overlay District except as provided in this chapter.

D. General review criteria. The ARC must determine that the following general review criteria are met before issuing a certificate of design compliance for a project:

- 1. The proposed work must comply with the applicable design guidelines for that overlay district;*
- 2. The integrity of an individual historic structure is preserved, if applicable;*
- 3. The design of new buildings or additions must be compatible with surrounding gateway properties; and,*
- 4. The overall character of the Gateway Overlay District is protected.*

Proposal

The applicant has submitted a project narrative that details the proposed project work. This narrative is available as Attachment "B."



City Design Guidelines

All applicable design guidelines are found attached to this document. Design Guidelines are split into two main sections: Architectural Design Guidelines, and Site Design Guidelines. As this is only a façade remodel, and none of the landscape or site plan will be changing, the Architectural Design Guidelines will be the applicable document for this project. Specific guidelines of relevance are included below.

Entrances

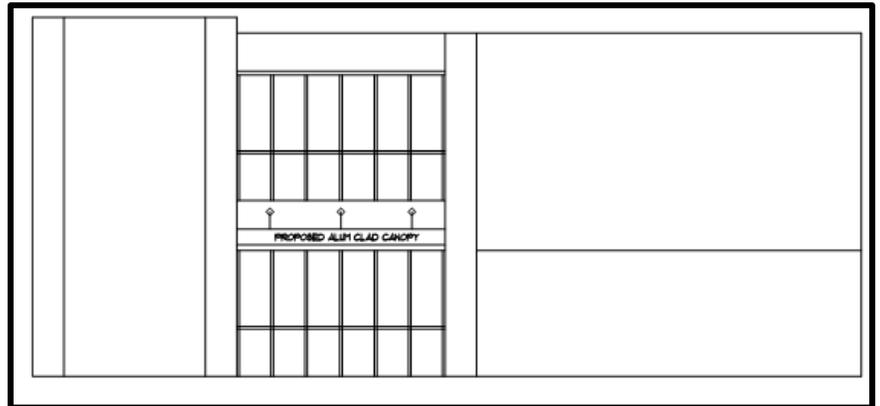
- 1.1. “Entrances should be easily identifiable and evoke a sense of entry.”
Commentary: The proposed entry serves as an obvious entry point along the building façade.
- 1.2. “Entrance areas should have a high quality finish and level of detail.”
Commentary: The proposed façade offers a level of quality higher than the existing façade, which due to years of use was demonstrating evidence of dilapidation in the form of appearance of performance. Applicant’s narrative provides further information regarding this dilapidation.
- 1.3. “Entrances should be the prominent features of the ground floor.”
Commentary: The proposed entrance serves as the primary feature of the main floor.
- 1.6. “To make entrances stand out, implement at least two articulation techniques, such as: clerestories, oversized doors, windows flanking doors, ornamental lighting, decorative stone/masonry, a pedestrian area with seating, public art, or landscaping.”
Commentary: The proposed façade implements windows which flank the doors, as well as clerestories, which help the entrance stand out.
- 1.7. “Buildings entrances should include awnings, overhangs, canopies, porches, etc.”
Commentary: The proposed façade implements an aluminum canopy, which matches other building finishes, and serves as an update to the existing canvas canopy.



Windows

- 2.1. “Windows on upper stories of buildings should be aligned with those on the lower story.”
Commentary: The upper windows align with the lower windows.
- 2.3. “Glazing is encouraged to promote safety and human scale.”
Commentary: The applicant has stated that the glass is to be insulated and tempered as needed. Should the Commission see glazing as a crucial project aspect, they shall make such a recommendation.

- 2.6. “Windows should be designed to encourage retail use by being transparent and free from excessive signage.”
Commentary: The windows are shown as free of signage, and the applicant is not requesting any new signage at this time.
- 2.8. “Windows situated in hard materials should not have trim, and the window frame shall be a minimum of 2” wide.”
Commentary: The updated windows are designed to match those which are existing in size and placement.



Awnings and Canopies

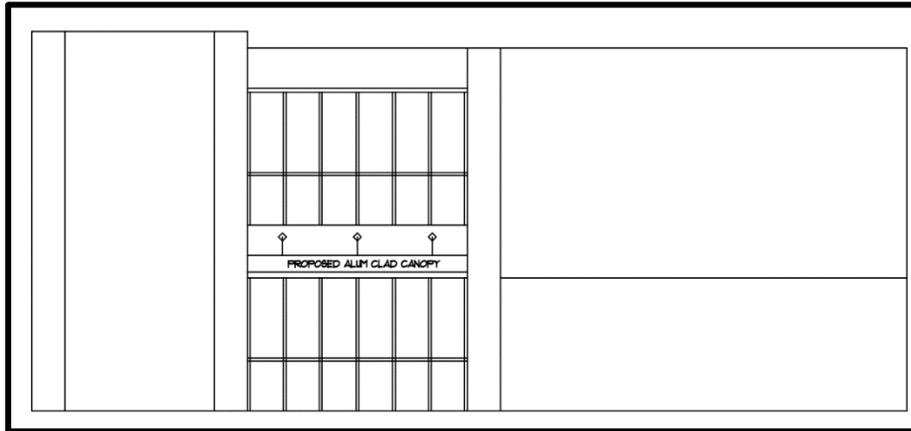
- 3.1. “Awnings are encouraged to promote visual interest and shield pedestrians from weather.”
Commentary: The proposed awning adds visual interest to the building and also serves as a barrier against inclement weather.
- 3.5. “Awnings must function as true awnings, situated over doorways and/or windows.”
Commentary: The proposed awning is situated directly over the doorway and adjacent windows.
- 3.6. “Awnings and canopies must be fixed to a vertical wall, and must lead to the public entrance.”
Commentary: The proposed awning is affixed to a vertical wall, and highlights the public entrance.
- 3.7. “Awnings should project at least three (3) feet over a pedestrian traffic area (i.e. doorway), and at least one (1) foot over a non-pedestrian traffic area.”
Commentary: The proposed awning is proposed to project three feet.
- 3.8. “Awnings and canopies shall maintain a minimum vertical clearance of eight (8) feet above the sidewalk.”
Commentary: The awning is proposed to be affixed eight feet above the sidewalk.

- 3.10. “Advertisements on awnings should be secondary to functional and aesthetic design, and should be in harmony with the colors and style of the building.”

Commentary: There is no signage being requested on the proposed awning.

- 3.11. “Awnings and canopies must be made of woven cloth or architectural metal materials.”

Commentary: The proposed awning is made of architectural metal.



Recommendation

Staff has concluded that the application substantially complies with City Code and Design Guidelines, and recommends approval of a Certificate of Design Compliance.

Model Motions

Approval

I move to issue a Certificate of Design Compliance for project SPL-19-011.

- List any additional conditions of approval...

Denial

I move to deny a Certificate of Design Compliance for project SPL-19-011, based on the following findings:

- List findings for denial...

Attachments

- A. Project Narrative
- B. Proposed Elevations
- C. Proposed Floor Plan
- D. Project Materials

Project: First Med Building
1950 East 7000 South
Cottonwood Heights, Utah 84121

Owner: Saunders Holdings LLC
PO Box 3418
Park City, Utah 84060
Contact: Evelyn Saunders 435-645-9557

Applicant: Bird Enterprises Inc.
PO Box 1392
Bountiful, Utah 84010
Contact: Brad Taylor 801-296-2473

Project Narrative

Concerns: The existing North entrance to the building has a "sun room" type structure that was built as part of the original construction of the building. The "sun room" is antiquated and has failed both structurally and from a waterproofing aspect. The "sun roof" leaks and drainage on the North elevation of the building is problematic.

Scope of Work: Remove the urgent care sign.
Remove the sun room / store front glass and structure.
Construct a new roof structure that drains onto the upper roof.
Install a new store front at both the main level and upper level.
Install a canopy above the lower level entrance.
Install metal cladding over the exposed structural members.
Lighting on the North elevation of the building will not be added or changed.
There will be no other changes to the exterior of the building.

General Plan: The purpose of this remodel is to solve the water infiltration problems and to update the main entrance to the building.
This project will improve the appearance of the building by updating the store front and the other exterior finishes.
This remodel will improve safety, ingress and egress for customers and employees of the associated businesses.

Health / Safety: This remodel will improve the health of the building by eliminating water infiltration from the roof.
Control water drainage.
Eliminate damage to and stains on the exposed block walls.
Eliminate damage to the steel and wood structure of the building.
Eliminate damage to and maintenance of the elevator.
Prevent the growth and smell of mold caused by water infiltration.

Access and safety for customers / employees will improve by providing more protection from the elements at the North entrance.
Eliminate snow from sliding off of the sun roof at the entrance to the building.
Eliminate most of the water drainage on the North elevation.
Provide a canopy above the entrance as they enter the building.
Improve safety on the walking surfaces.

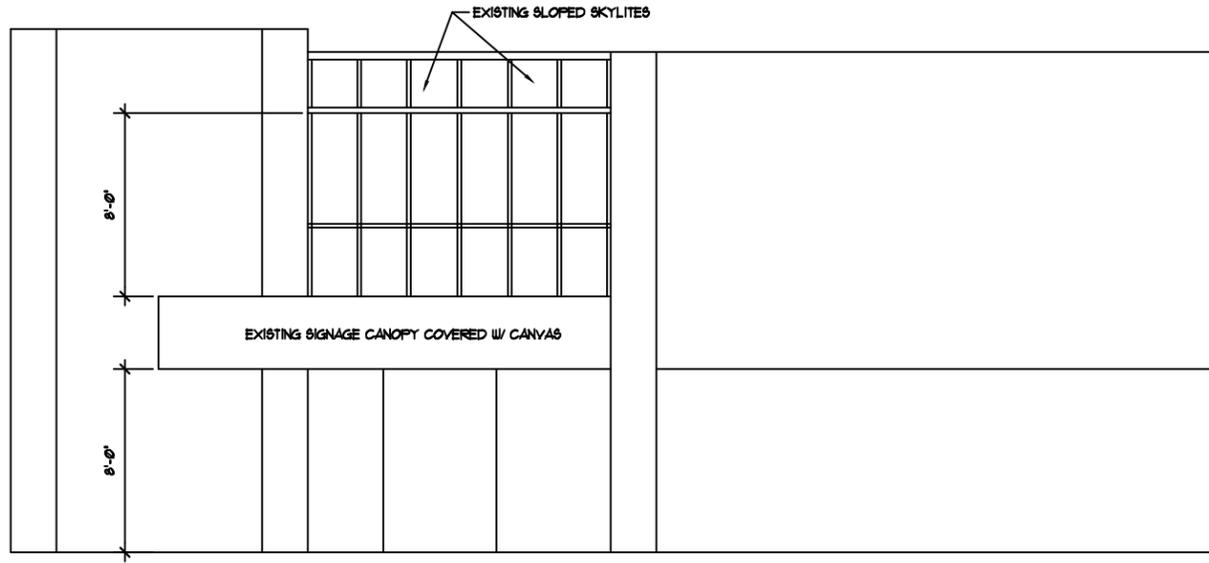
Spatial Relationship: There is no change to the footprint, open space or the spatial relationship of the building.

Site Layout: No changes will be made to the site layout, parking, loading or service areas.

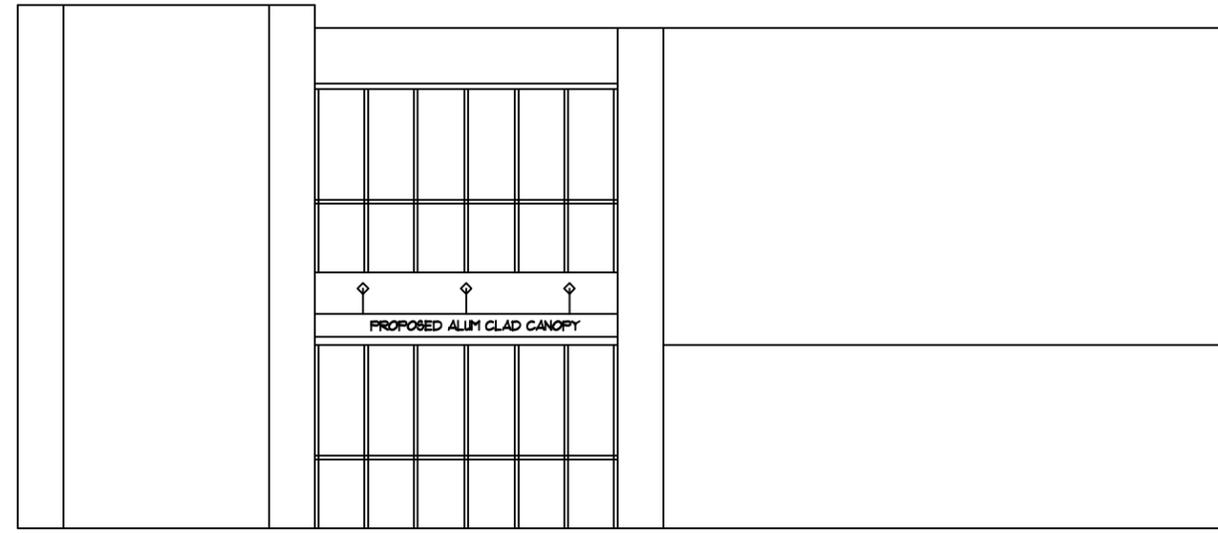
Architectural Characteristics: The resulting buildings characteristics change little from the current building characteristics.
The resulting buildings characteristics are similar to the surrounding buildings.

Design Features: The resulting design features of the building are very similar to the current building.
Mechanical equipment, appurtenances and utility exposure or screens do not change.

Design Guidelines: The overall design and appearance of the building does not change.



EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING
MAIN FLOOR PLAN

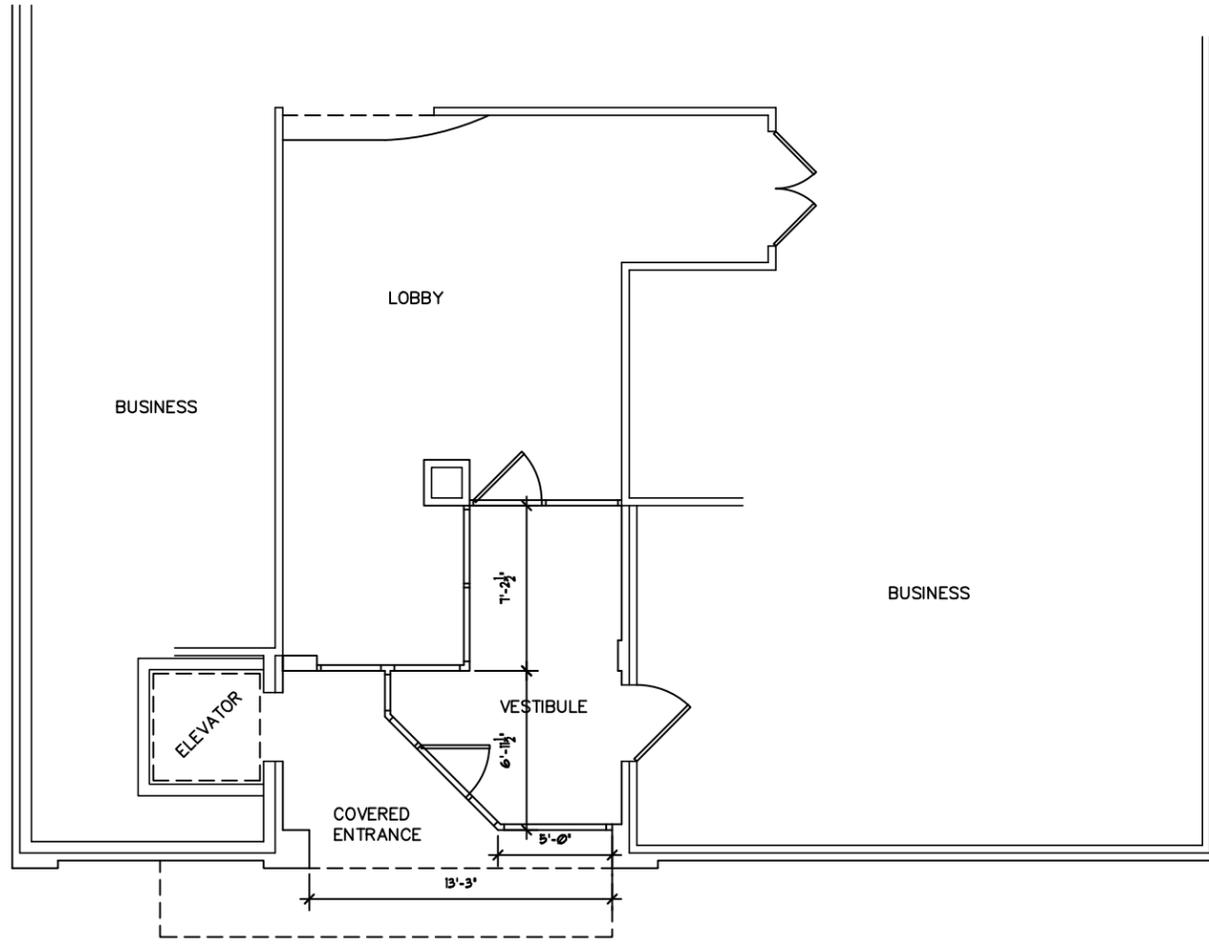


dddrafting

SAUNDERS HOLDINGS
REMODEL 3/27/19
ADDRESS
UTAH

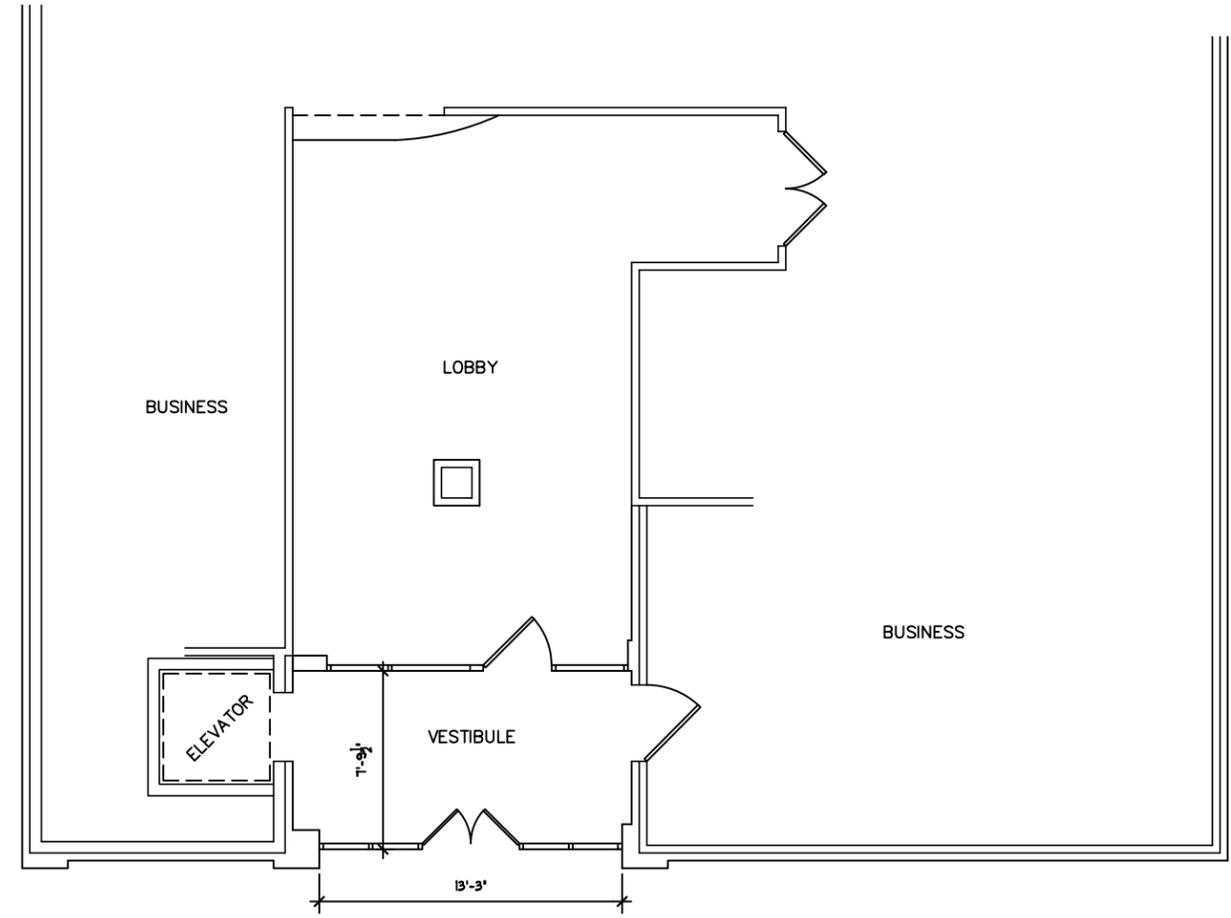
(801) 589-6168

A3



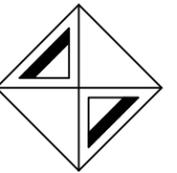
EXISTING GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"



GROUND FLOOR PLAN

A1

addrrafting

SAUNDERS HOLDINGS
REMODEL
ADDRESS
UTAH

3/27/19

(801) 589-6168

Project: First Med Building
1950 East 7000 South
Cottonwood Heights, Utah 84121

Owner: Saunders Holdings LLC
PO Box 3418
Park City, Utah 84060
Contact: Evelyn Saunders
435-645-9557

Applicant: Bird Enterprises Inc.
PO Box 1392
Bountiful, Utah 84010
Contact: Brad Taylor
801-296-2473

Materials

Roof Structure: Dimensional wood framing with OSB roof sheathing.

Roof Finish: TPO membrane - White 60 mil

Store Front: Painted aluminum structural frames with insulated glass panels.
Painted aluminum door frames with insulated glass panels.
Tempered glass as required.

Metal Cladding: Fabricated from flat sheet, color to match the other finishes.
> Drip edge / wall cap.
> Horizontal bands / fascia.

Canopy Structure: Structural steel with attachment accessories as required.
The canopy will be painted to match the other finishes.

Exterior Lighting: No lighting will be added.
No changes made to the exterior lighting.



ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

Block 17 - 23 Live/Work Townhomes
 Meeting Date: September 12, 2019
 Staff Contact: Matt Taylor, Senior Planner

Summary

Applicant: John Prince (1700 Fort Union Partners, LLC)

Subject Properties:

1658 S. 1700 E.
 1648, 1680, 1690 E. Fort Union Blvd.

Action Requested:

1. Site Plan Approval of 23 mixed-use live/work townhomes.
2. Conditional Use Permit for an increase in height and a decrease in setbacks.

Recommendation

Continue item to the October Planning Commission meeting.

Project #: SPL-19-007



Context

Property Owner	Address -- Parcel #	Acres
Silvia Ann Johnson	1648 E. Fort Union Blvd. 2221380007	0.24
Chytraus, Darlene H; Tr	1680 E. Fort Union Blvd. 2221380008	0.21
1700 Fort Union Partners, LLC	1690 E. Fort Union Blvd. 2221380009	0.44
1700 Fort Union Partners, LLC	6958 S 1700 E 2221380014	0.24
	Total Acres:	1.13



Site Photos

Subject Properties – Looking Southeast



Subject Properties – Looking Southwest



Zoning and Land Use

Site

Zone: MU - Mixed Use /
Gateway Overlay District

Land Use: Single-Family Residential,
Vacant

North

Zone(s): PF - Public Facilities /
R-2-8 - Multi-Family Res.

Land Use: Park, Twin Homes

South

Zone: R-1-8 –Single Family Res.

Land Use: Single-Family Res.

East

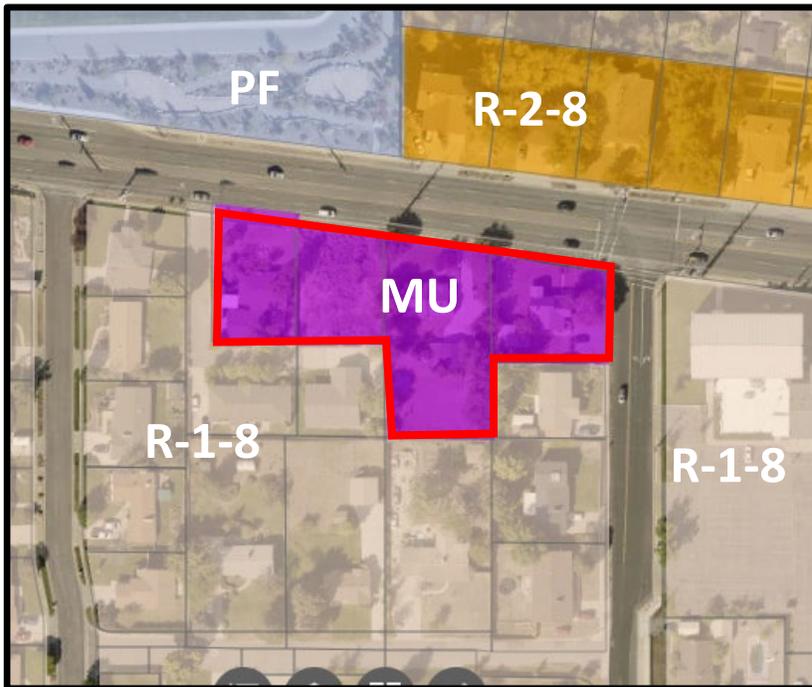
Zone: R-1-8 –Single Family Res.

Land Use: Single-Family Res.

West

Zone: R-1-8 –Single Family Res.

Land Use: Single-Family Res.

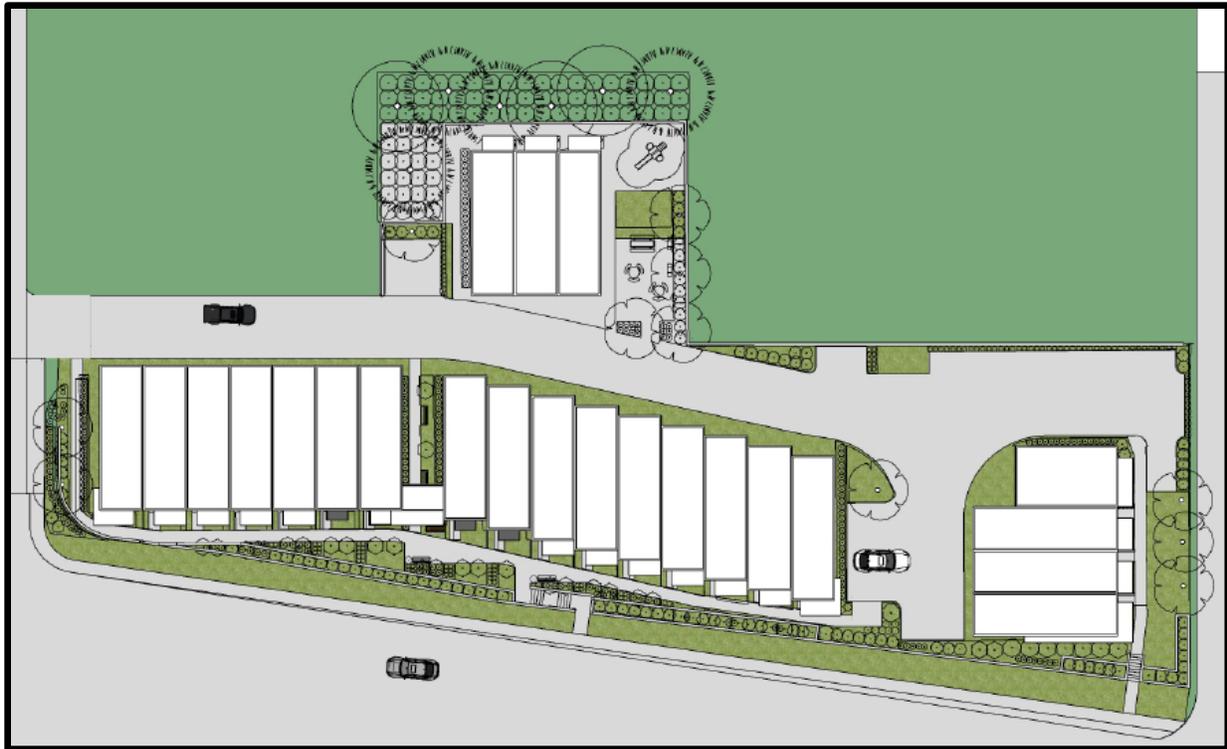


Analysis

Request

An application has been made by John Prince (1700 Fort Union Partners, LLC) for approval of a Certificate of Design Compliance for 23 new live/work townhomes at approximately 1650 E. Fort Union Blvd. The subject property is in the Gateway Overlay District, so the proposed townhomes require Architectural Review Commission consideration and issuance of a Certificate of Design Compliance before they can receive preliminary approval from the Planning Commission.





Architectural Review Commission Authority

The ARC is required to review new construction for compliance with applicable design guidelines and compatibility with surrounding properties, as required by section 19.49.060 of the zoning ordinance:

19.49.060 Gateway Overlay District.

C. Certificate of design compliance. A certificate of design compliance issued by the ARC shall be required before proceeding with any new development or changes to existing development in a Gateway Overlay District. No alteration of the existing condition of land, structures, signs, landscaping or lighting, including, without limitation, demolition of any structure, application of new exterior siding material, creation of a new window or dormer, creation of a driveway or parking facility, construction of a deck, fence or garage, or enclosure of a porch shall be permitted within the Gateway Overlay District except as provided in this chapter.

D. General review criteria. The ARC must determine that the following general review criteria are met before issuing a certificate of design compliance for a project:

- 1. The proposed work must comply with the applicable design guidelines for that overlay district;*
- 2. The integrity of an individual historic structure is preserved, if applicable;*
- 3. The design of new buildings or additions must be compatible with surrounding gateway properties; and,*
- 4. The overall character of the Gateway Overlay District is protected.*

Proposal

The applicant submitted a written narrative for ARC consideration. Copies of the written narrative and all relevant plans have been attached to this report for reference.

Design Guidelines

Previous ARC Review

In previous staff reports to the ARC on this application, staff identified and provided analysis on a number of applicable design guidelines that seemed warranted for ARC discussion. In response, the applicant has addressed many of the design guidelines to the ARC's satisfaction and these issues are no longer addressed in this report. This report will only address outstanding design guidelines that staff feels have not been completely addressed.

FOUR-SIDED DESIGN

Design Guideline 4.4: Buildings Should Not Have Any Blank, Flat Walls.

Commentary: The first floor side elevations of each façade originally was mostly blank with two horizontal windows. *"All buildings shall have a minimum of 15% transparency on all floors, which shall consist of windows that provide visibility from the public right-of-way or adjacent property"* (19.36.150 CH Code). The applicant has revised the drawings to comply with the guidelines and city transparency code.

Original Proposal



Current Proposal



Recommendation: The current proposal is in compliance with the City’s transparency provisions outlined in 19.36.150. Additionally, staff believes the current proposal meets the intent of the referenced design guideline for four-sided design.

LANDSCAPING AND STREETScape, ELEMENTS AND ARTICULATION

Design Guideline 7.2: Every Forty (40) Feet Of Horizontal Façade Should Be Broken Up By Building Articulation.

Design Guideline 17.1: Plazas, Courtyards, Pocket Parks, Outdoor Cafes, Etc. Should Be Designed in an Inviting Manner That Encourages Pedestrian Use Through the Incorporation of Elements Such as Trellises, Fountains, Art, Seating, and Shade Trees.

Commentary: At previous ARC meetings, the ARC requested that applicant revisit the repetition and massing in the primary building along Fort Union Blvd. The applicant has submitted a new proposal that seeks to meet the ARC’s expectation in meeting the above design guideline.

Original Proposal



Second Proposal



Current Proposal



Commentary: At the first ARC meeting, the ARC recommended suggested that the building articulation be broken up with additional landscaping or courtyard separating the east building into two buildings, with the courtyard anchoring the development. An interior passageway has been developed connecting the front courtyard with the rear alley, rear units and development amenities.



Recommendation: It appears that the intent of these design guidelines have been satisfied.

LANDSCAPING

17.19 Mulching materials like bark shouldn't be used as permanent ground cover alternatives to hardscape materials, but bark used for moisture retention and weed control is encouraged.

Commentary: In general, the landscaping plan meets the design guidelines articulated in the Design Guidelines but there are missing details, with exceptions as noted in the recommendations below.



Recommendations:

1. The mulching area on the west landscaping area should be removed and replaced with alternative landscaping per the design guidelines.
2. Landscaping details for the breezeway between the two primary buildings on Fort Union Blvd. should be provided.
3. Details on retaining walls and fencing should be provided as part of the final plan approval.
4. The small trees shown on building elevation renderings are not represented on the landscaping plan, nor has the low-fenced courtyard areas. Plans should be revised to articulate these details. Verification that the trees meet Rocky Mountain Power guidelines should be submitted.

BUILDING-MOUNTED AND CANOPY LIGHTING

Design Guideline 9.1 – 9.11: Building-Mounted and Canopy Lighting

Design Guidelines 26: Site Lighting

Commentary: The following lighting fixtures have been proposed. However, no lighting for entries into individual units have been proposed.

D-Series Size 0 LED Area Luminaire

Specifications

EPA:	0.95 ft ² (0.09 m ²)
Length:	26" (0.66 m)
Width:	13" (0.33 m)
Height:	3" (0.08 m)
Height:	7" (0.18 m)
Weight (max):	16 lbs (7.25 kg)

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

D-Series Size 1 LED Wall Luminaire

Specifications Luminaire

Width:	13.3/4" (34.3 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6.3/8" (16.2 cm)		

Back Box (BBW, ELCW)

Width:	13.3/4" (34.3 cm)	BBW Weight:	5 lbs (2.3 kg)
Depth:	4" (10.2 cm)	ELCW Weight:	10 lbs (4.5 kg)
Height:	6.3/8" (16.2 cm)		

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

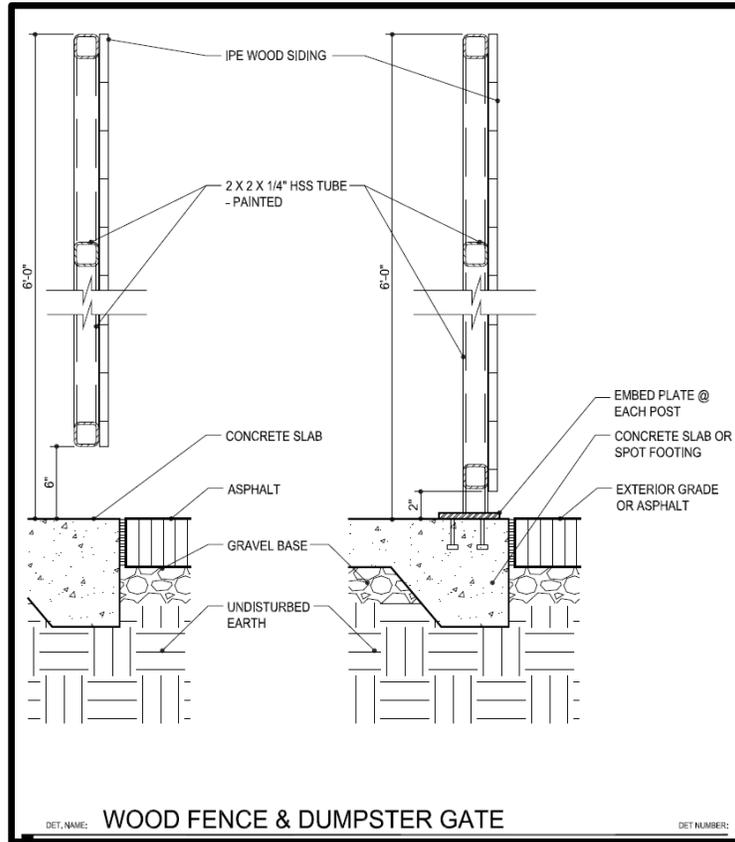
Recommendation: The applicant should provide additional detail for individual unit lighting. These could be delegated to staff for approval.

MECHANICAL, TRASH, AND UTILITY SCREENING

Design Guidelines 19.4, 19.11, 19.13: Screen Walls Should be of Similar Materials and Finishes as Primary Buildings.... Pedestrian Gates, In Addition to Truck Access to Trash Enclosures, Should be Provided.

Commentary: The applicant has submitted revised drawings for the proposed dumpster enclosure.

Proposed Enclosure



Recommendation: Staff recommends the ARC provide guidance relative to their expectations for the design of the trash enclosure.

SIGN PLAN

Commentary: The planning commission shall approve an overall signage plan during the site plan approval process. The applicant has provided a typical example of the sign plan on the building elevations.



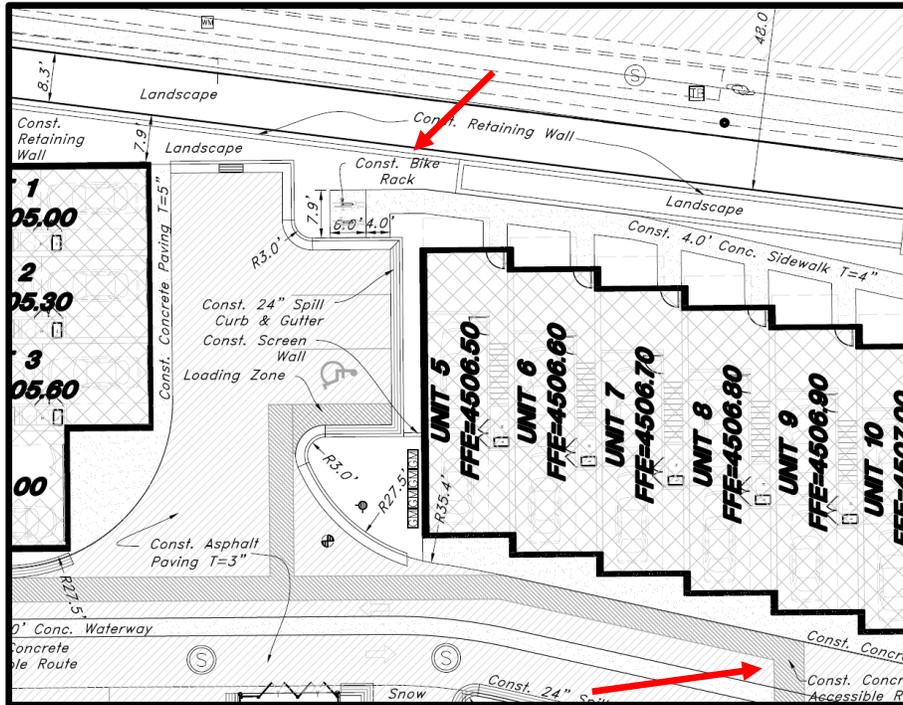
Recommendation: Staff recommends that the applicant prepare a detailed sign plan that can be adopted by the Planning Commission as the required “sign plan” for the final plan documents. We also recommend conditions of approval that any additional signage be returned to the ARC and Planning Commission for review and approval. Further, we recommend that the sign plan is incorporated in the development’s CC&Rs with references to city code for modification of the sign plan.

PARKING

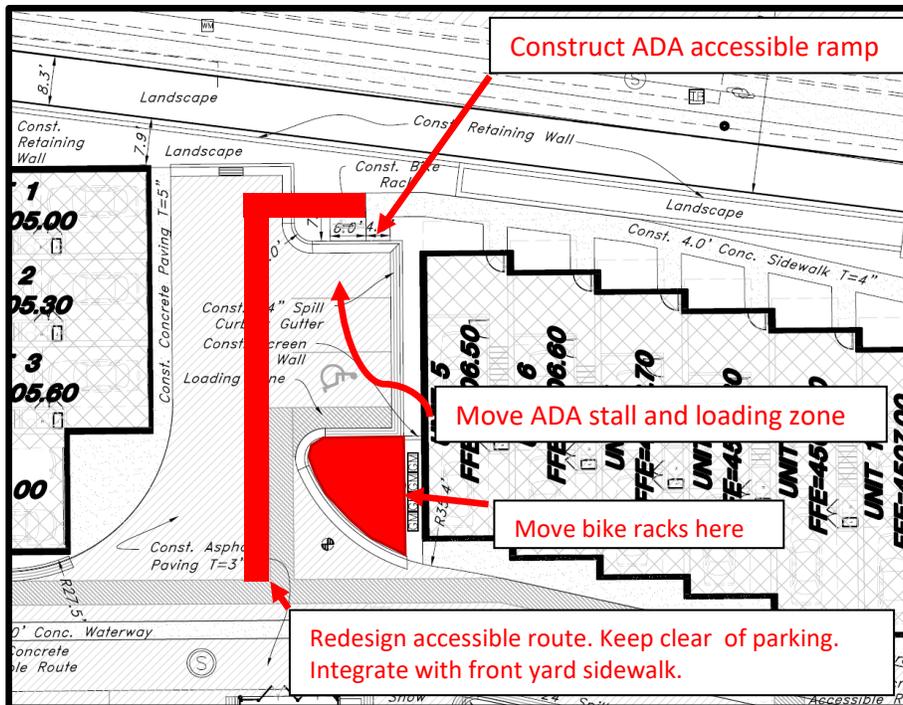
Design Guideline 28.3: Parking Lots Should Provide Areas for Bicycle... Parking.

Design Guideline 11. 3: Parking for residential aspects of mixed-used buildings should be well-marked and separate from commercial/business parking.

Commentary: The applicant has added bicycle parking since this issue was originally brought up. Internal access walkways have been identified as a “concrete accessible route” throughout the site.



Recommendation: The bicycle rack location, accessible route, lack of ADA ramps, and the dead-ending of the internal front-yard sidewalk into a parking space does not logistically work. The following amendments are recommended:



It is further recommended that the internal accessible route should be extended to the breezeway between the two primary buildings on Fort Union Blvd. and be also extended to the public sidewalk on

1700 East with a connection made to the internal sidewalk and public sidewalk on the east end of the project.

We also recommend that internal parking signage be approved by staff prior to final plan approval. The internal parking signage should restrict residential parking from business parking from 8:00 am to 5:00 pm, Monday – Friday. Internal CC&Rs should be required to articulate and manage this regulation.

Planning Commission

The Planning Commission held a public hearing to take public comment on this request on September 4, 2019 and asked for the following items to be addressed before their October meeting:

1. Receive a Certificate of Design Compliance from the ARC;
2. Coordinate with the applicant on the ability of lowering the grade of site and analyze the potential of lowering units to match adjacent building height and street grade;
3. Confirm the percentage of landscaping as being compliant with the MU zone;
4. Verify the appropriateness of the proposed street trees with Rocky Mountain Power;
5. Provide elevations & specs for south property boundary screening materials adjacent to SF zones (height & material);
6. Work with staff to provide full frontage improvements in accordance with the Fort Union Corridor Plan and city right-of-way standards;
7. Prepare a summary of lighting plan to share with the Planning Commission and confirm that it complies with zoning ordinance.
8. Provide details on lighting of individual unit entrances;
9. The City Engineer will confirm the accuracy of the traffic report, especially examining the egress distance and sight lines from the intersection at Fort Union, and provide general information about traffic capacity in the 1700 E neighborhood. Additionally, that staff review the transportation master plan / general plan / Fort Union Boulevard Master Plan for the future outlook/plans for this intersection (Fort Union / 1700 E);
10. Request that additional cross-walk treatment to cross the entry to the development.

Recommendation

Staff has concluded that the application substantially meets the requirements of the City Design Guidelines, with the exceptions noted in this staff report. Staff recommends approval of a Certificate of Design Compliance, with the following conditions of approval to bring it into compliance with all design guidelines:

1. That detail sheets be provided for the proposed sign plan and that no additional signage be approved without the issuance of a certificate of design compliance from the ARC, and that the signage plan is amended by the Planning Commission. Further, the development CC&Rs shall have provisions detailing the limitations of the sign plan and referencing city code for amending the current approved sign plan.
2. That internal parking signage be approved by staff prior to final plan approval. The internal parking signage shall restrict residential parking from business parking from 8:00 am to 5:00 pm, Monday – Friday. Internal CC&Rs shall be required to articulate and manage this regulation.

3. That the bike parking, ADA stall, loading area and ramps, and internal circulation route be amended as diagrammed in this staff report.
4. That the internal accessible route should be extended to the breezeway between the two and also extended to the public sidewalk on 1700 East and a connection made to the internal sidewalk on the east end of the project. Further, that the pedestrian crossings on the site egress to 1700 East be detailed and improved to increase safety and accessibility.
5. That the applicant provide detail on any required railing on top of the proposed retaining wall per building code requirements for staff review and approval;
6. The mulching area on the west landscaping area should be removed and replace with alternative landscaping per the design guidelines;
7. Landscaping details for the breezeway between the two primary buildings on Fort Union Blvd. should be provided;
8. That the small trees shown on building elevation renderings are represented on the landscaping plan. Verify the appropriateness of the proposed street trees with Rocky Mountain Power;
9. That the low-fenced courtyard areas are shown, and a detail sheet provided for their design, including fencing materials;
10. Details on retaining walls on the south side of the site, as well as on fencing and walls for the site perimeter shall be provided;
11. That the dumpster enclosure is designed per the design guidelines and a detail sheet and materials are prepared.

Model Motions

Approval

I move to issue a Certificate of Design Compliance for project SPL-19-007:

- List any additional conditions of approval...

Denial

I move to deny a Certificate of Design Compliance for project SPL-19-007, based on the following findings:

- List findings for denial...
-

Attachments

1. Applicant Narrative
2. Plans



FORT UNION TOWNHOMES - 3D VIEWS





FORT UNION TOWNHOMES - 3D VIEWS







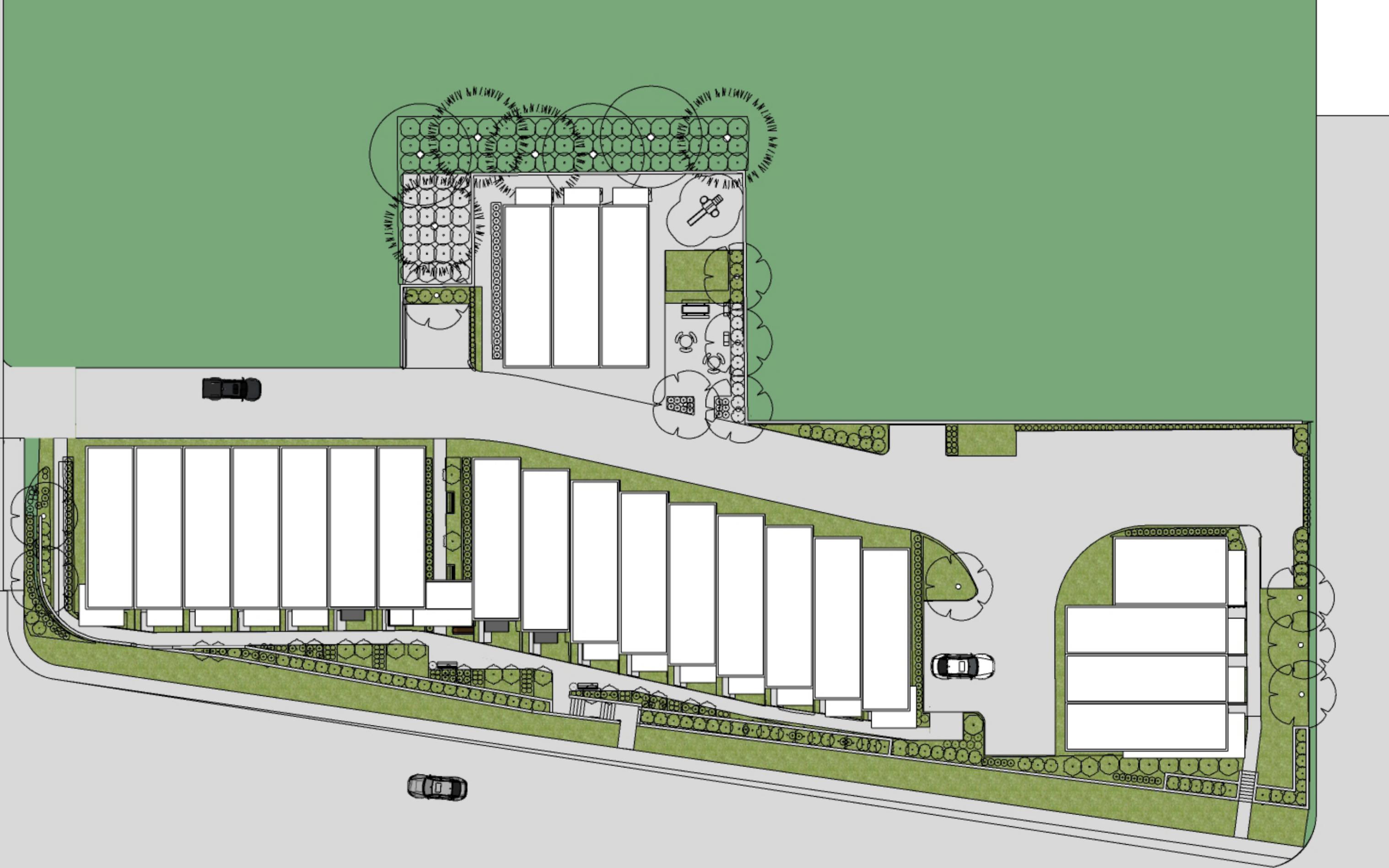




FORT UNION TOWNHOMES - 3D VIEWS







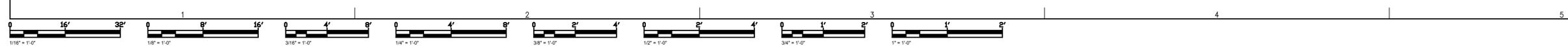
FORT UNION TOWNHOMES - 3D VIEWS



B1 SOUTH ELEVATION - B UNITS
SCALE: 1/8"=1'-0"



A1 SOUTH ELEVATION B UNITS - CONT.
SCALE: 1/8"=1'-0"



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927 SOUTH STATE STREET SALT LAKE CITY UTAH 84111 P. 355-3003

NOT FOR CONSTRUCTION

FORT UNION TOWNHOMES
6958 S. 1700 E
COTTONWOOD HEIGHTS, UTAH
SCHEMATIC DESIGN

Revision #	Date

Axis Job #	1901
Owner #	
Date	8/19/2019
Drawn	
Checked	

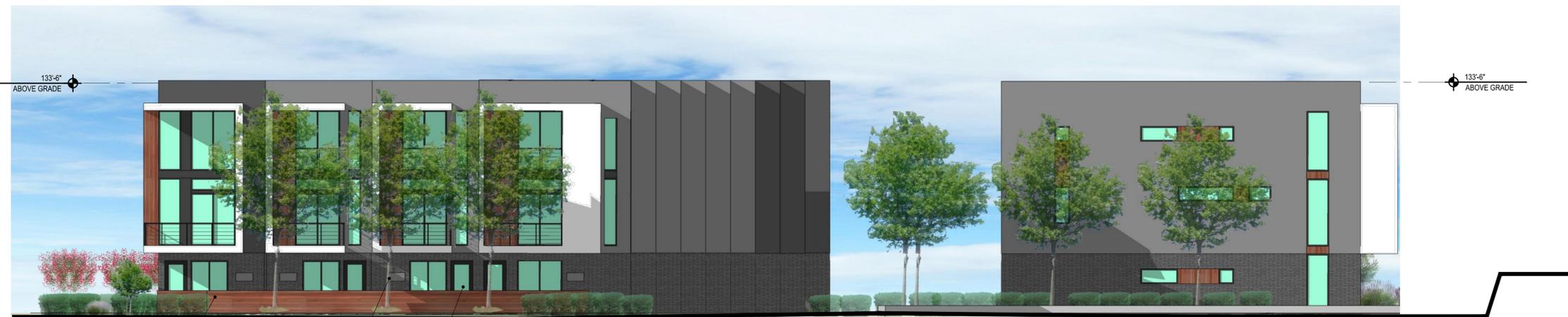
ELEVATIONS

AE202



C1 NORTH ELEVATION B UNIT
SCALE: 1/8"=1'-0"

- 133'-6" ABOVE GRADE
- HARD COAT PLASTER COLOR 1 TYP.
- IPE WOOD SIDING TYP.
- GLAZING TYP.
- FRENCH RAILING - TYP.
- BLACK BRICK TYP.
- GARAGE DOOR TYP.

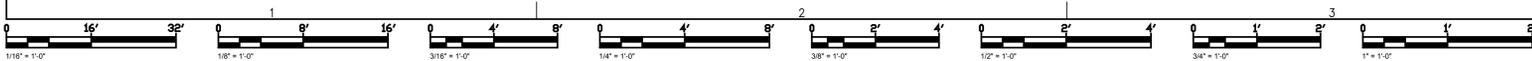


B1 WEST ELEVATION A UNITS AND B UNITS
SCALE: 1/8"=1'-0"

- 133'-6" ABOVE GRADE
- IPE WOOD FENCE - 3' TALL
- LIVE/WORK SIGNAGE LOCATION TYP. 10 S.F. MAX
- ENTRY DOOR



A1 EAST ELEVATION A UNITS AND B UNITS
SCALE: 1/8"=1'-0"



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FORT UNION TOWNHOMES
6958 S. 1700 E
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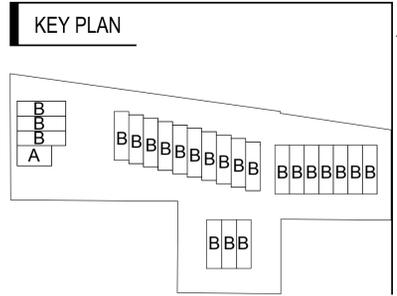
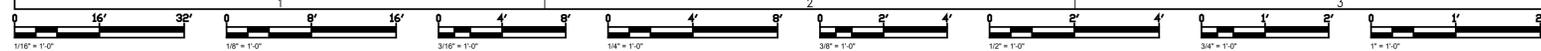
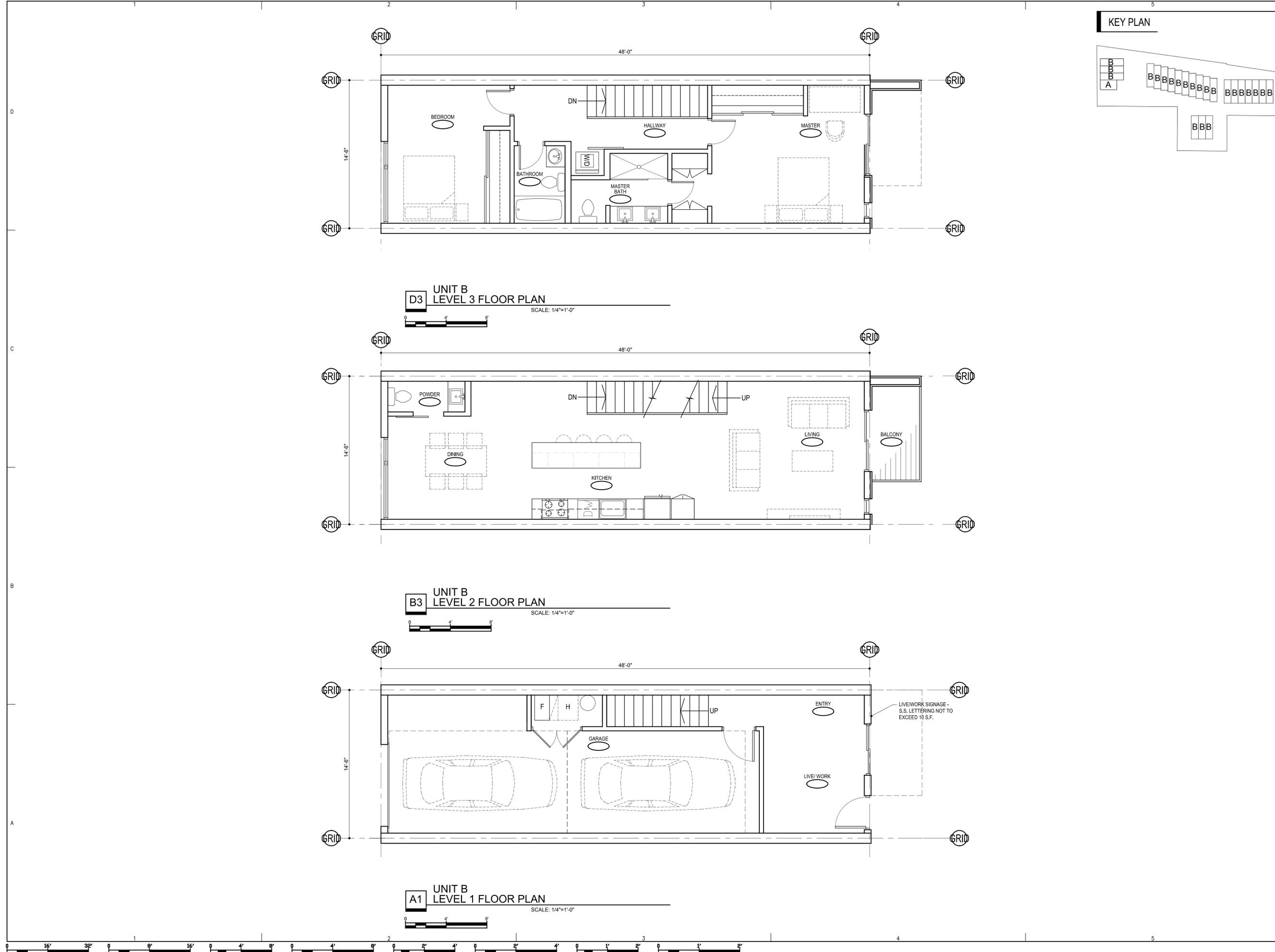
Revision #	Date

Axis Job #	1901
Owner #	
Date	8/19/2019
Drawn	
Checked	

ELEVATIONS

AE203

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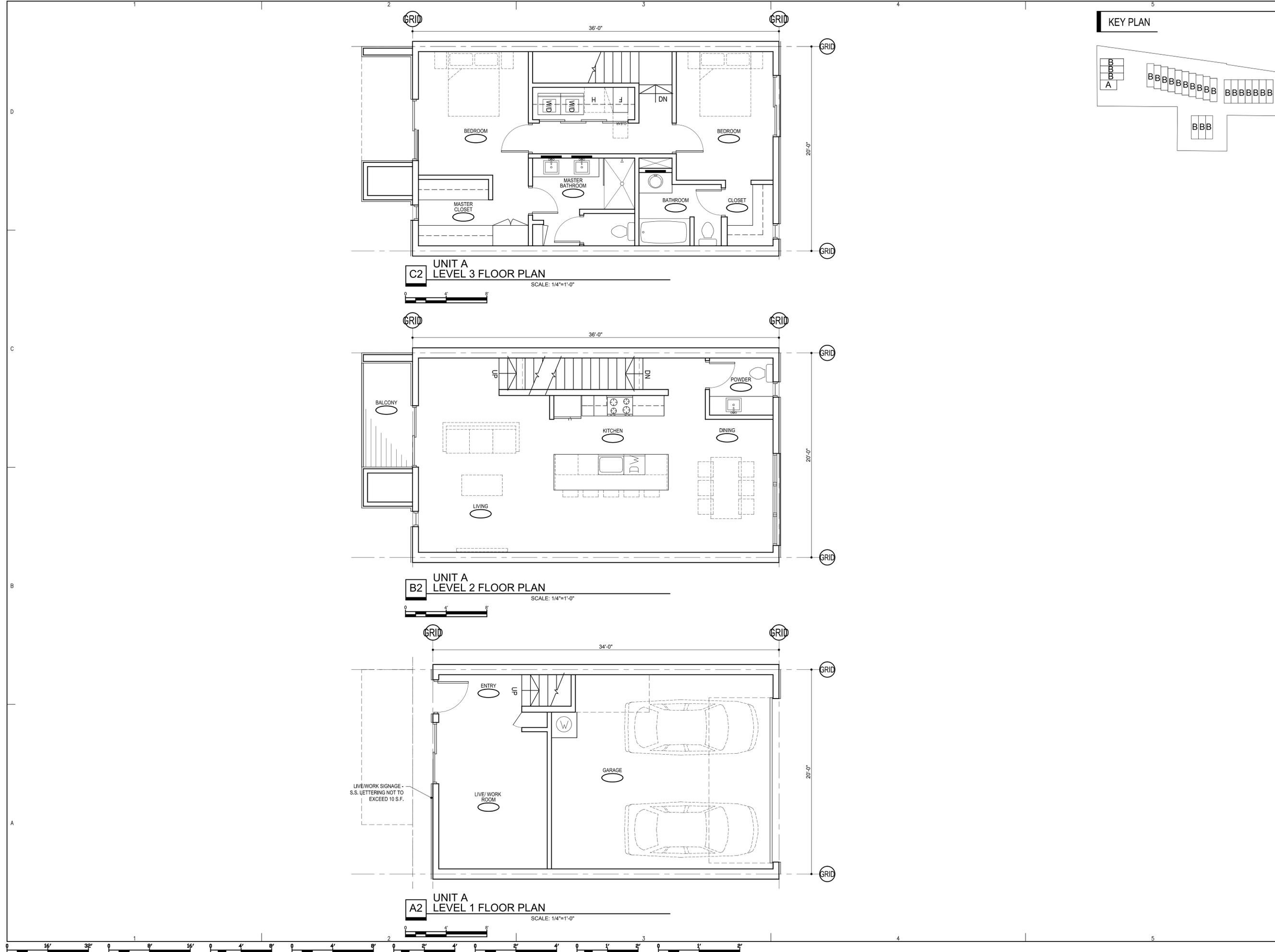
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FORT UNION TOWNHOMES
6958 S. 1700 E
 COTTONWOOD HEIGHTS, UTAH
 SCHEMATIC DESIGN

Revision #	Date
Axis Job #	1901
Owner #	
Date	8/7/2019
Drawn	
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FLOOR PLANS - UNIT C

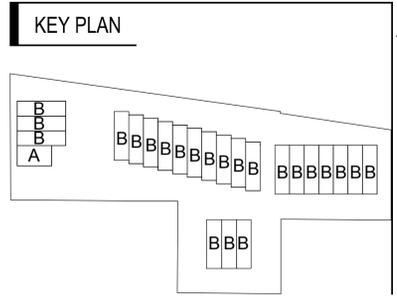
AE101



C2 UNIT A
LEVEL 3 FLOOR PLAN
SCALE: 1/4"=1'-0"

B2 UNIT A
LEVEL 2 FLOOR PLAN
SCALE: 1/4"=1'-0"

A2 UNIT A
LEVEL 1 FLOOR PLAN
SCALE: 1/4"=1'-0"



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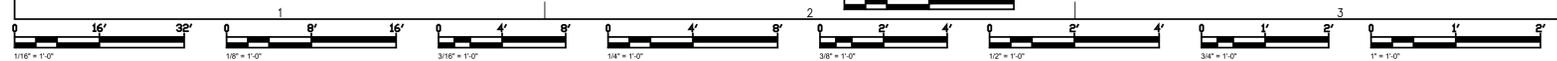
FORT UNION TOWNHOMES
6958 S. 1700 E
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 SCHEMATIC DESIGN

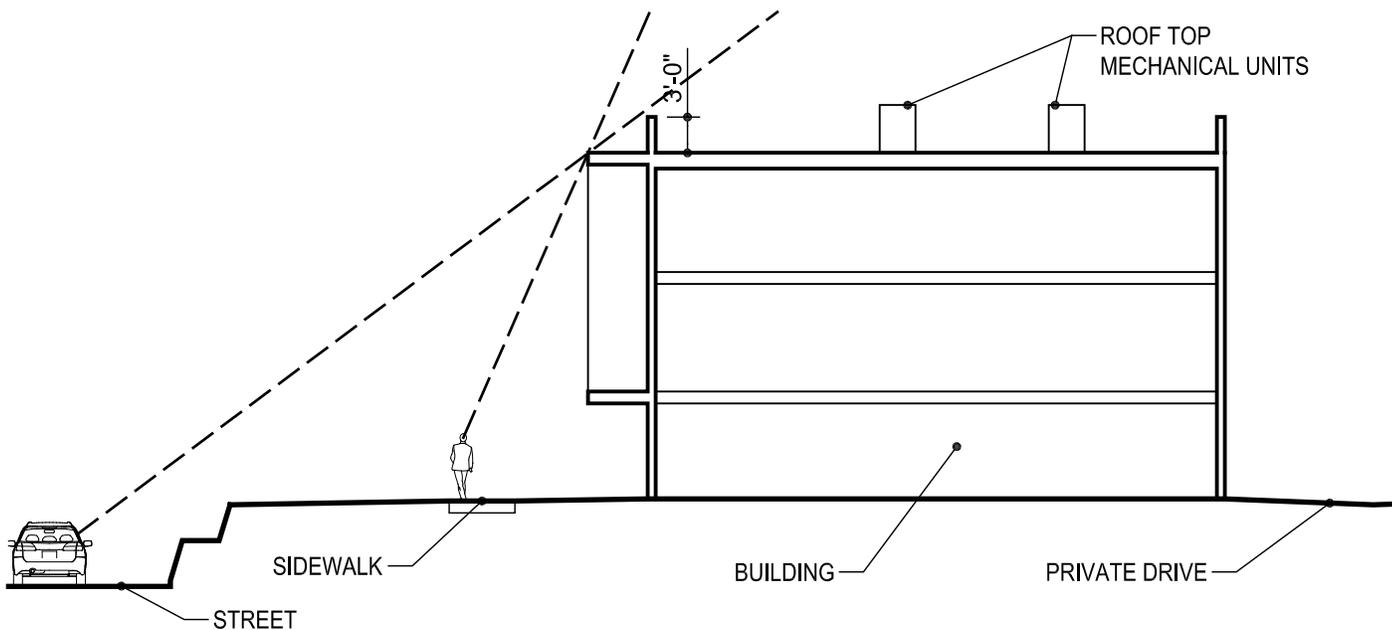
Revision #	Date

Axis Job # 1901
 Owner #
 Date 8/7/2019
 Drawn
 Checked

FLOOR PLANS - UNIT A

AE102





SCREENING ROOF TOP MECHANICAL UNITS

DET. NAME:

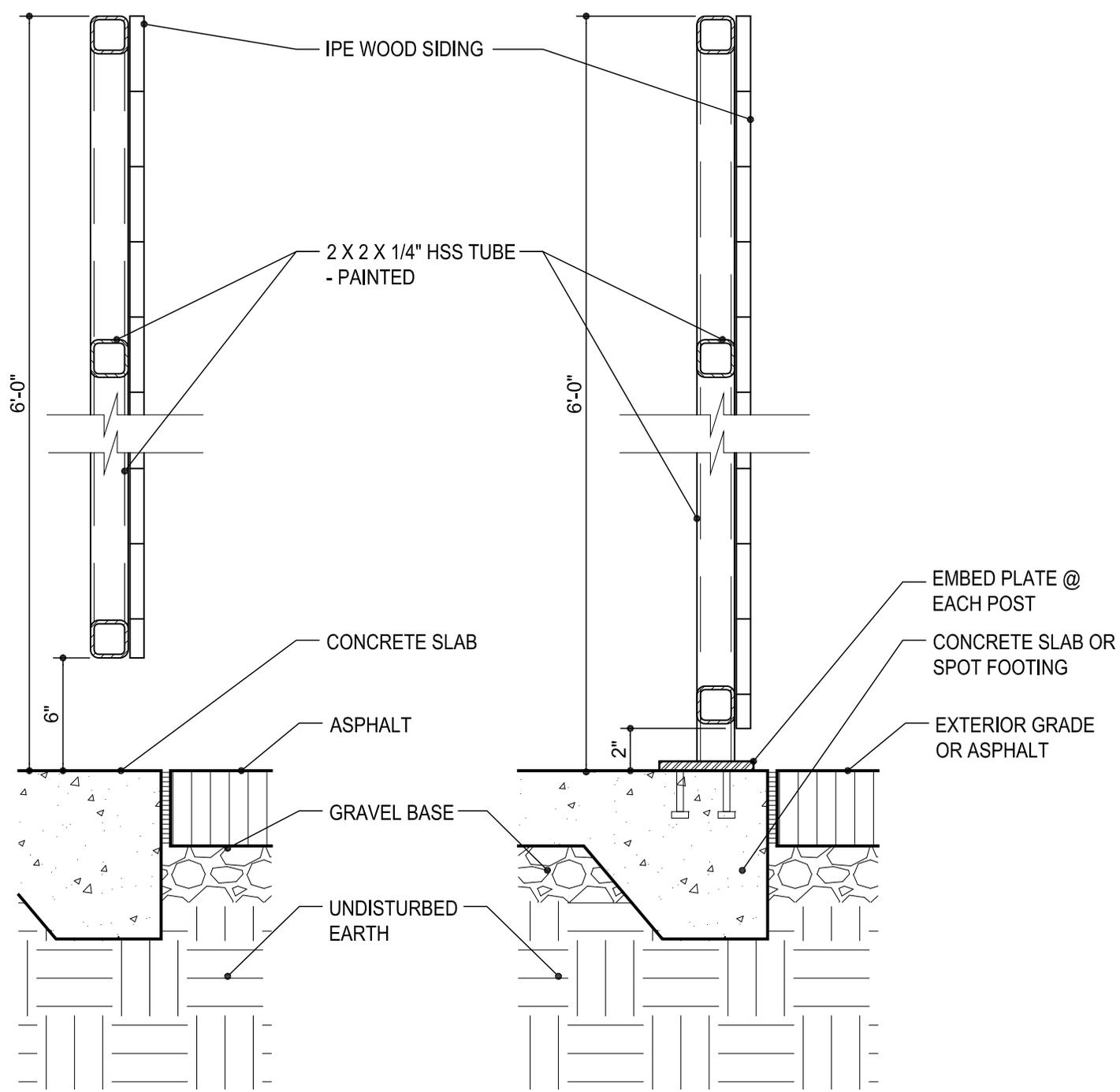
DET NUMBER:

SCALE: 1/16" = 1'-0"

ISSUED: 05.14.2019 REVISION:

PROJECT: FORT UNION TOWNHOMES

ST-01



WOOD FENCE & DUMPSTER GATE

DET. NAME:

DET NUMBER:

SCALE: 1-1/2"=1'-0"

ISSUED: 07.10.2019 REVISION:

PROJECT: FORT UNION TOWNHOMES

ST-01

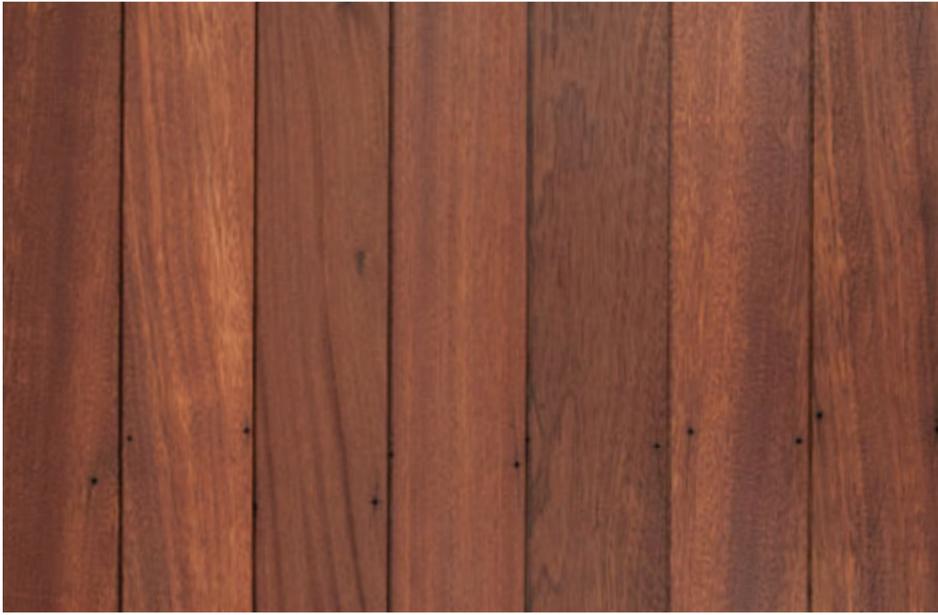




BLACK BRICK



GLASS



IPE WOOD SIDING



STUCCO
WHITE AND GRAY



D-Series Size 1 LED Wall Luminaire



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

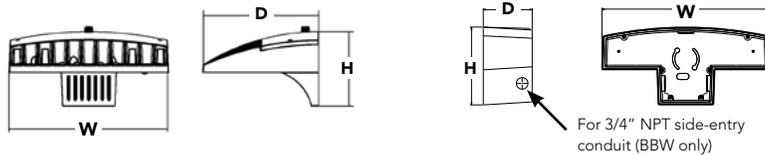
d#series

Specifications Luminaire

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6-3/8" (16.2 cm)		

Back Box (BBW, ELCW)

Width:	13-3/4" (34.9 cm)	BBW Weight:	5 lbs (2.3 kg)
Depth:	4" (10.2 cm)	ELCW Weight:	10 lbs (4.5 kg)
Height:	6-3/8" (16.2 cm)		



Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DBBTD

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines) ¹	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) ¹	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium ASYDF Asymmetric diffuse	MVOLT ² 120 ³ 208 ³ 240 ³ 277 ³ 347 ^{3,4} 480 ^{3,4}	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) ⁵	Shipped installed PE Photoelectric cell, button type ⁶ DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht ^{1,7} PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{1,7} PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{1,7} PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{1,7} ELCW Emergency battery backup (includes external component enclosure), CA Title 20 Noncompliant ^{8,9}

Other Options

Finish (required)

Shipped installed

SF	Single fuse (120, 277 or 347V) ^{3,10}
DF	Double fuse (208, 240 or 480V) ^{3,10}
HS	House-side shield ¹¹
SPD	Separate surge protection ¹²

Shipped separately¹¹

BSW	Bird-deterrent spikes
WG	Wire guard
VG	Vandal guard
DDL	Diffused drop lens

DDBXD	Dark bronze	DSSXD	Sandstone
DBLXD	Black	DBBTD	Textured dark bronze
DNAXD	Natural aluminum	DBLBXD	Textured black
DWHXD	White	DNATXD	Textured natural aluminum

DWHGXD	Textured white
DSSTXD	Textured sandstone

Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1WG U	Wire guard accessory
DSXW1VG U	Vandal guard accessory

NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.
- Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at www.lithonia.com
- Not available with SPD.
- Not available with ELCW.
- Also available as a separate accessory; see Accessories information.
- Not available with ELCW.





D-Series Size 0 LED Area Luminaire



Catalog Number
Notes
Type

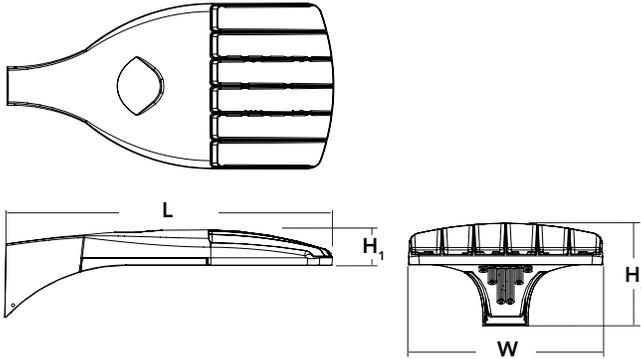
Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height ₁ :	3" (7.62 cm)
Height ₂ :	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED					
Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX0 LED	Forward optics P1 P4 P7 P2 P5 P3 P6 Rotated optics P10 ¹ P12 ¹ P11 ¹ P13 ¹	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control ² LCCO Left corner cutoff ² RCCO Right corner cutoff ²	MVOLT ^{3,4} 120 ⁴ 208 ⁴ 240 ⁴ 277 ⁴ 347 ^{4,5} 480 ^{4,5}	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor ⁶ RPUMBA Round pole universal mounting adaptor ⁶ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁷

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ^{8,9} PIRHN Network, high/low motion/ambient sensor ¹⁰ PER NEMA twist-lock receptacle only (control ordered separate) ¹¹ PER5 Five-pin receptacle only (control ordered separate) ^{11,12} PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) ^{11,12} DMG 0-10V dimming extend out back of housing for external control (control ordered separate)	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{13,14} PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{13,14} PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{13,14} PIRH1FC3V High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{13,14} FAO Field adjustable output ¹⁵	Shipped installed HS House-side shield ¹⁶ SF Single fuse (120, 277, 347V) ⁴ DF Double fuse (208, 240, 480V) ⁴ L90 Left rotated optics ¹ R90 Right rotated optics ¹ DDL Diffused drop lens ¹⁶ Shipped separately BS Bird spikes ¹⁷ EGS External glare shield ¹⁷
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white





ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

Union Lofts - 13 Live/Work Townhomes

Meeting Date: September 12, 2019

Staff Contact: Andy Hulka, Associate Planner

Summary

Applicant: Nathan Anderson
(Union Lofts, LLC)

Subject Property:
1810 E. Fort Union Blvd.

Action Requested

Certificate of Design Compliance:

Approval of 13 mixed-use live-work townhomes in the Gateway Overlay District.

Recommendation

Approve, with conditions.

Project #: CUP-19-008



Context

Property Owner
Union Lofts, LLC

Acres
0.54 acres

Parcel #
22-21-460-005



Site Photos

1810 E. Fort Union Blvd. (Looking south from Fort Union Blvd.)



Zoning

Site

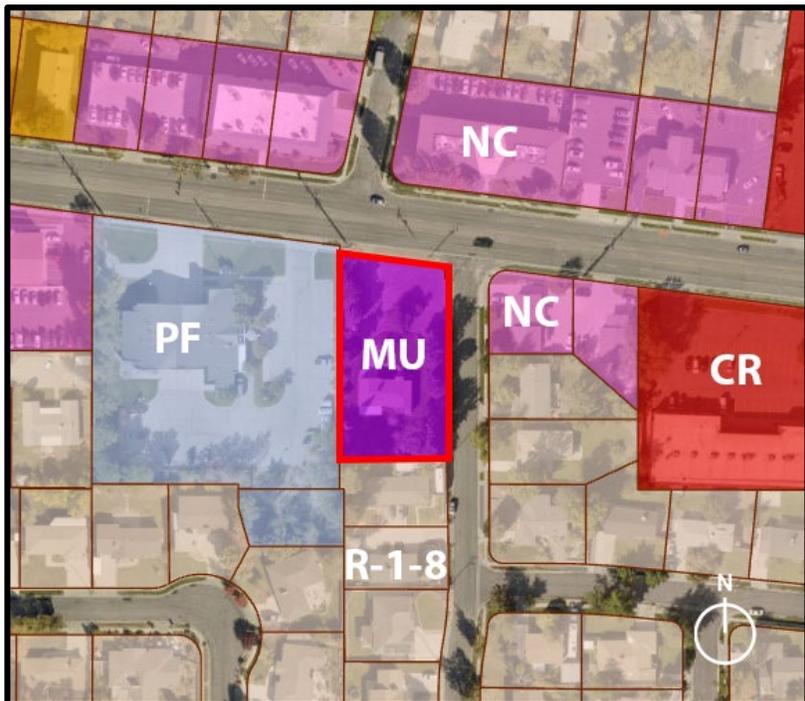
MU: Mixed Use zone

Surrounding Properties

PF: Public Facilities (Fire Station)

NC: Neighborhood Commercial zone

R-1-8: Residential Single-Family zone



Analysis

Request

An application has been made by Nathan Anderson (Union Lofts, LLC) for approval of a Certificate of Design Compliance for 13 new live/work townhomes at 1810 E. Fort Union Blvd. The subject property is in the Gateway Overlay District, so the proposed townhomes require Architectural Review Commission consideration and issuance of a Certificate of Design Compliance before they can be constructed.



Architectural Review Commission Authority

The ARC is required to review new construction for compliance with applicable design guidelines and compatibility with surrounding properties, as required by section 19.49.060 of the zoning ordinance:

19.49.060 Gateway Overlay District.

C. Certificate of design compliance. A certificate of design compliance issued by the ARC shall be required before proceeding with any new development or changes to existing development in a Gateway Overlay District. No alteration of the existing condition of land, structures, signs, landscaping or lighting, including, without limitation, demolition of any structure, application of new exterior siding material, creation of a new window or dormer, creation of a driveway or parking facility, construction of a deck, fence or garage, or enclosure of a porch shall be permitted within the Gateway Overlay District except as provided in this chapter.

D. General review criteria. The ARC must determine that the following general review criteria are met before issuing a certificate of design compliance for a project:

- 1. The proposed work must comply with the applicable design guidelines for that overlay district;*
- 2. The integrity of an individual historic structure is preserved, if applicable;*
- 3. The design of new buildings or additions must be compatible with surrounding gateway properties; and,*
- 4. The overall character of the Gateway Overlay District is protected.*

Proposal

The applicant submitted a written narrative for ARC consideration. Copies of the written narrative and all relevant plans have been attached to this report for reference.



Design Guidelines

Staff recommends that the ARC review the proposed signs to determine whether the proposed design is in harmony with applicable design guidelines. Some of the applicable sign guidelines include:

Entrances

- 1.1 “Entrances should be easily identifiable and evoke a sense of entry.”
- 1.5 “Orient entrances towards the adjacent street or main access points.”
- **Commentary: While the east- and west-facing entrances are easily identifiable, the entrances on the north elevation (along Fort Union Blvd.) lack a sense of entry. The applicant should consider revising the plans so the north entrances are more easily identifiable.**



North Elevation



West Elevation

Windows

- 2.3 “Glazing is encouraged to promote safety and human scale.”
- 2.6 “Windows should be designed to encourage retail use by being transparent and free from excessive signage.”
- **Commentary: Consider adding more windows on the ground level facing towards Fort Union Blvd.**



Four-Sided Design

- 4.1 “Architectural details and colors must be consistent on all visible walls.”
- **Commentary: Consider revising the plans so the north elevation has a design more consistent with the east and west elevations.**



Building Materials & Color

- 12.8 “Use permanent, durable materials that can be easily maintained.”
- 13.1 “Colors should be used to tie the entire site together, and should complement the surrounding developments and natural environment.”
- **Commentary: The applicant has proposed alumaboard siding, white stucco, and black brick as the primary building materials for this project.**

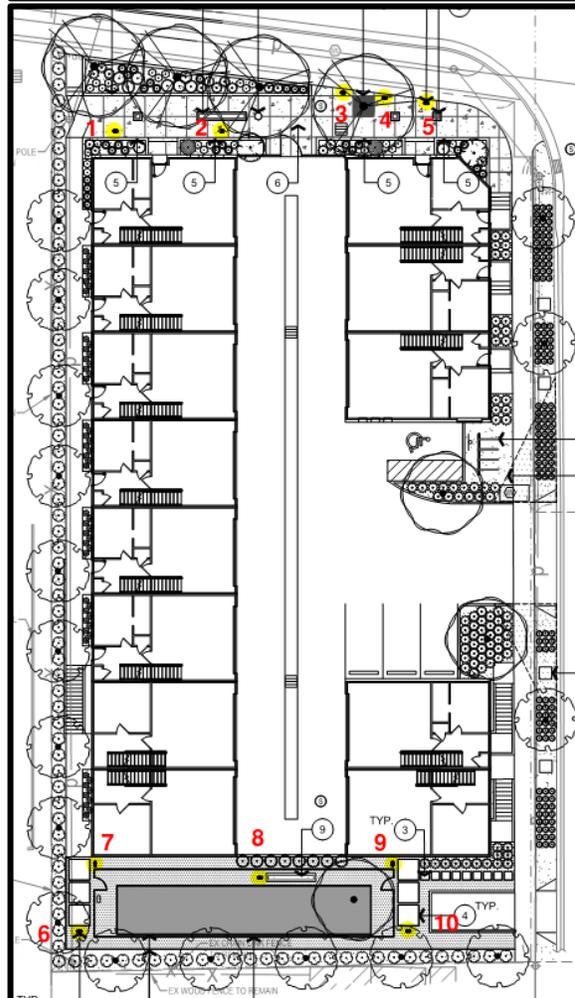


Lighting

- 9.8 “Building-mounted lights should be designed to complement the architecture of the building.”
- 26.9 “Bollard-style lighting is encouraged along pedestrian walkways.”
- **Commentary:** No plans have been submitted for building-mounted or canopy lighting. The applicant must submit a lighting plan that demonstrates compliance with section 19.36.120 of the zoning ordinance and the lighting standards of the Architectural Design Guidelines.
- **Commentary:** The applicant has submitted a landscape plan that shows 10 bollard lights (5 in the front along Fort Union Blvd. and 5 in the landscaped area in the back). Consider adding additional light bollards along the pedestrian walkways on the east and west sides of the development. Building-mounted lights should be shielded and directed downward.



LIGHT BOLLARD



Landscape

- 18.13 “Landscaping must be designed and use plants that are high-quality and easily maintained.”
- 18.15 “Provide plans for sustainable and effective irrigation.”
- **Commentary: The ARC should review the landscaping plan to ensure that the proposed plants will fit in naturally with the surrounding developments.**



Signs

- **Commentary: No signs are proposed with this project. Any future signs will require a separate approval by the ARC.**

Planning Commission

The Planning Commission held a public hearing to take public comment on this request on September 4, 2019. The applicant discussed the following proposed modifications with the Commission:

- Rooftop decks may be removed to meet permitted height requirements;
- The side setbacks from the fire station will be 10’;
- The east side staircase will be redesigned to increase the setback from Brookhill Drive;
- The Fort Union setback will range from approximately 20-28’ from sidewalk to buildings. The applicant’s intent is to ensure there is a true 20’ setback;
- The applicant confirmed with Rocky Mountain Power that the trees under the power lines are permitted;
- The applicant’s intent is for no portion of the structures to exceed 35’.

The Planning Commission asked for the following items to be addressed before their October meeting:

1. Receive a Certificate of Design Compliance from the ARC;
2. Submit a lighting plan that demonstrates compliance with section 19.36.120 of the zoning ordinance;
3. Submit a plan with details for all equipment and dumpster locations and screening if applicable and a plan for residential waste and recycling pickup;
4. Submit a plan with exact setbacks showing the minimum distance from any portion of the building intended for human inhabitants to the property line;
5. Submit a lighting plan with details about building mounted lighting that complies with section 19.36.120 of the zoning ordinance;
6. Verify the appropriateness of the proposed street trees with Rocky Mountain Power;
7. Work with staff to provide full frontage improvements in accordance with the Fort Union Corridor Plan and city right-of-way standards;
8. The City Engineer will confirm the accuracy of the traffic report, specifically related to the size of the buildings;
9. Confirm the right-of-way width of Brookhill Drive and clarify on-street parking standards.

Recommendation

Staff has concluded that the application substantially meets the requirements of the City Design Guidelines. Staff recommends approval of a Certificate of Design Compliance, with the following conditions:

- Revising the plans so the north entrances are more easily identifiable.
- Add more windows on the ground level facing towards Fort Union Blvd.
- Revise the plans so the north elevation has a design more consistent with the east and west elevations.
- Submit a lighting plan that demonstrates compliance with section 19.36.120 of the zoning ordinance and the lighting standards of the Architectural Design Guidelines.
- Add additional light bollards along the pedestrian walkways on the east and west sides of the development.

Model Motions

Approval

I move to issue a Certificate of Design Compliance for project CUP-19-008:

- List any additional conditions of approval...

Denial

I move to deny a Certificate of Design Compliance for project CUP-19-008, based on the following findings:

- List findings for denial...
-

Attachments

1. Applicant Narrative
2. Plans

Conditional Use Application: July 15, 2019.

Written Narrative: Union Lofts a Live/Work, PUD.

Nathan Anderson-Union Lofts, LLC.

1. **Project Title:** Conditional Use Application – Union Lofts a Live/Work, PUD.
2. **Conditional Use Proposed:** A mixed-use live/work 13-lot PUD.
3. **Architect:** Russell Platt Architecture 1559 West 3860 South West Valley City, Utah 84119 (801) 580-0181.
4. **Landscape Design:** Scott Schoonover McNeil Engineering 8610 So. Sandy Pkwy #200 Sandy, Utah 84070 (801) 255-7700.
5. **Civil Engineer:** McNeil Engineering 8610 So. Sandy Pkwy #200 Sandy, Utah 84070 (801) 255-7700; D. Canning.
6. **Compliance Statement:** Cottonwood Heights Ordinance No. 321-A, an ordinance approving the rezone of the real property located at 1810 East Fort Union Blvd. From R-1-8 (Residential Single Family) to MU (Mixed-Use) and amending the zoning map on May 21, 2019. The intended use is in compliance with the general plan designated as MU in Cottonwood Heights city. In addition, the Fort Union master Plan overlay is a guideline that has been implemented into the architectural design as well as the landscape architecture for the front plaza. Highly influencing the plaza area of the development along Fort Union Blvd.
7. **Buffering nearby residential:** This development has both commercial and a residence across the street to the east along Brookhill Drive. So, relative to the residence across the street we placed the entrance to this development at that point in Brookhill to break-up the mass and provide a view corridor to the west. Along Brookhill Drive we will have a green wall of street trees planted every 15' to protect existing residence and new residence in this live/work development. The south neighbor is two single-level duplex buildings. This property sits to the south up-grade approximately 25' feet from the proposed development. To buffer these duplexes from this 3-story development we have taken the south two buildings on both sides (east and west) and pushed them into the ground one level. Now having 2.5 stories above grade with a reduced 3rd level stepped back. In addition to this architectural amendment we will have a 25' green space between this development and the duplex property that will be used as a tree lined resident dog-park.
8. **Blending to the surrounding area:** This mixed-use live/work PUD will hold most of the dominant features viewed along Fort Union Blvd. The most dominant featured building material is brick, then glass, stucco and railings (wrought iron). We will use these same primary exterior building materials in a more forward-looking design. We have employed many references from the Fort Union General Plan Overlay that will be integrated to the design. And most prominent in the set-back from Fort Union Blvd in the form of a plaza. This plaza to include suggested street trees in grates with low profile shrubs every 13' to 15' along Fort Union Blvd. The balance of the plaza will include raised concrete planters with grasses and bushes. Along with bollard lights, sitting areas and bike rack area.

- 9. Traffic & Parking:** This 13-lot live/work PUD will have 6 visitor parking stall and one handicapped parking stall beyond the 2-car garage within the live-work townhome. According to Horrocks Traffic Engineers, this 13-lot Development is expected to have a traffic impact of less than .0021, very low. Additionally, impacted by the live-work component of the design. With the intended user living and working within the premises, thus not driving in an AM or PM commute along with shopping and restaurants within walking distance. Most business services expected in these live/work townhomes is primarily professional grade services that are more digitally oriented than those business with direct client interaction. Thus, this business activity is to have no notable impact to the expected on impacted streets.
- 10. Height of Building:** Of the allowed 45' in the M-U zone. The architecture is based on three 10' plates to an approximate total of 32'. This property will be a full story less than recent townhome developments in the M-U zone within the city.
- 11. Amenities:** The amenities for the development will include a front plaza gathering area designed in compliance with the Fort Union General Plan Overlay. In addition to a heavily desired fenced dog park on the south end of the development. For private amenities the live/work townhome will include a roof top deck area exclusive to the townhome owner. An amenity that enhances the unit and the over-all look, appeal and use by residents to have an all-encompassing lifestyle in an urban setting.

UNION LOFTS

1760 FORT UNION BLVD COTTONWOOD HEIGHTS, UT 84121

7-12-19

ARCHITECTS INFORMATION



CODE OFFICIAL STAMP

PROJECT NAME:

UNION LOFTS
1760 FORT UNION BLVD
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C100



Sheet List	
Sheet Number	Sheet Name
C100	COVER SHEET
C101	MATERIAL BOARD
A101	LEVEL 1 FLOOR PLANS
A102	LEVEL 2 FLOOR PLANS
A103	LEVEL 3 FLOOR PLANS
A104	LEVEL 4 FLOOR PLANS
A105	ROOF PLAN
A106	A UNIT FLOOR PLANS

Sheet List	
Sheet Number	Sheet Name
A107	B UNIT FLOOR PLANS
A201	ELEVATIONS
A202	ELEVATIONS
A203	ELEVATIONS
A204	ELEVATIONS
A901	RENDERINGS
A902	RENDERINGS
A903	ISOMETRIC VIEWS HEIGHT STUDY





ALUMABOARD SIDING

BLACK BRICK

WHITE STUCCO

ARCHITECTS INFORMATION
RUSSELL PLATT ARCHITECTURE
 Russell Platt Architecture
 4301 West 4570 South
 West Valley City, Utah 84120
 801-580-0108



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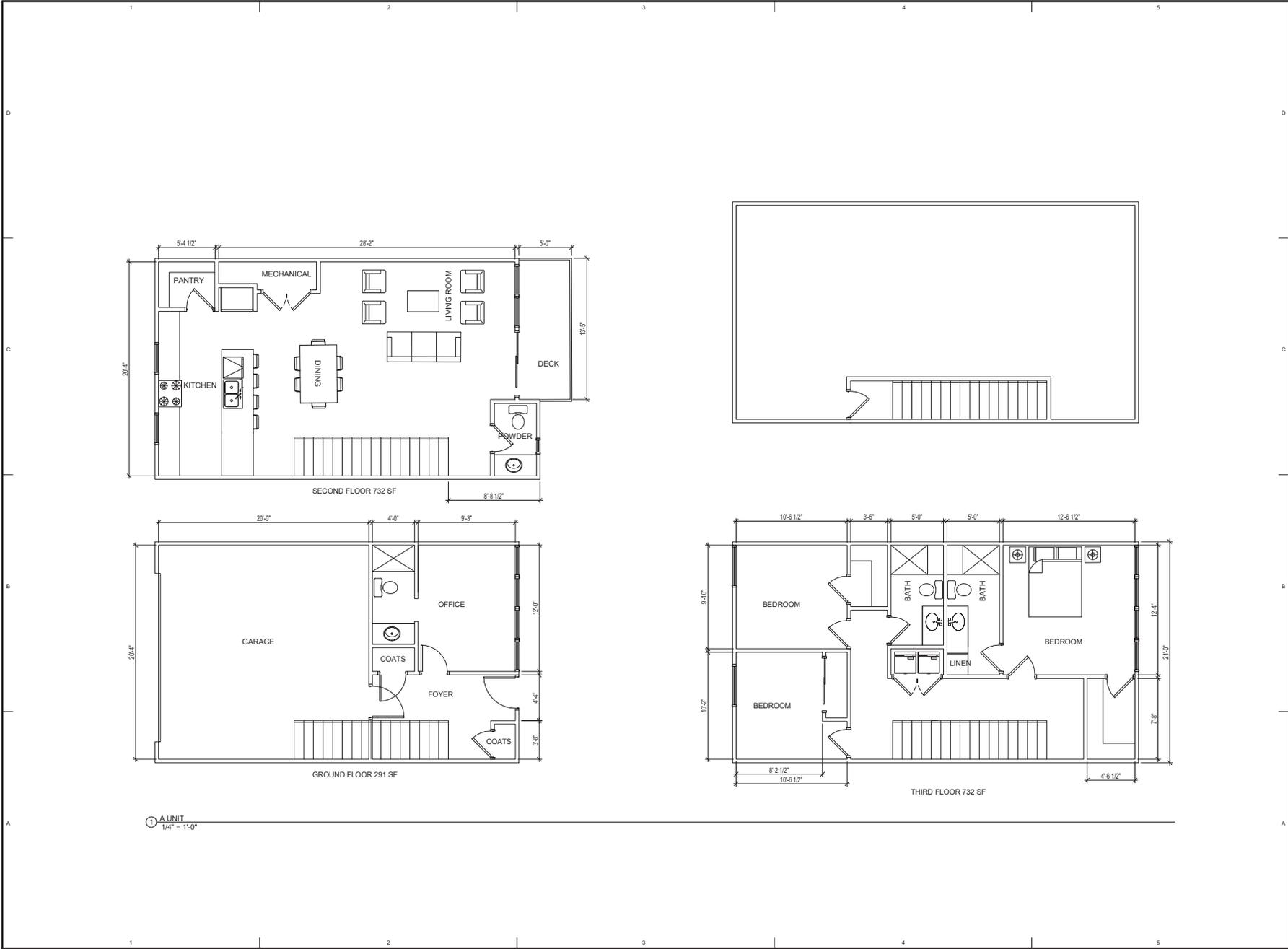
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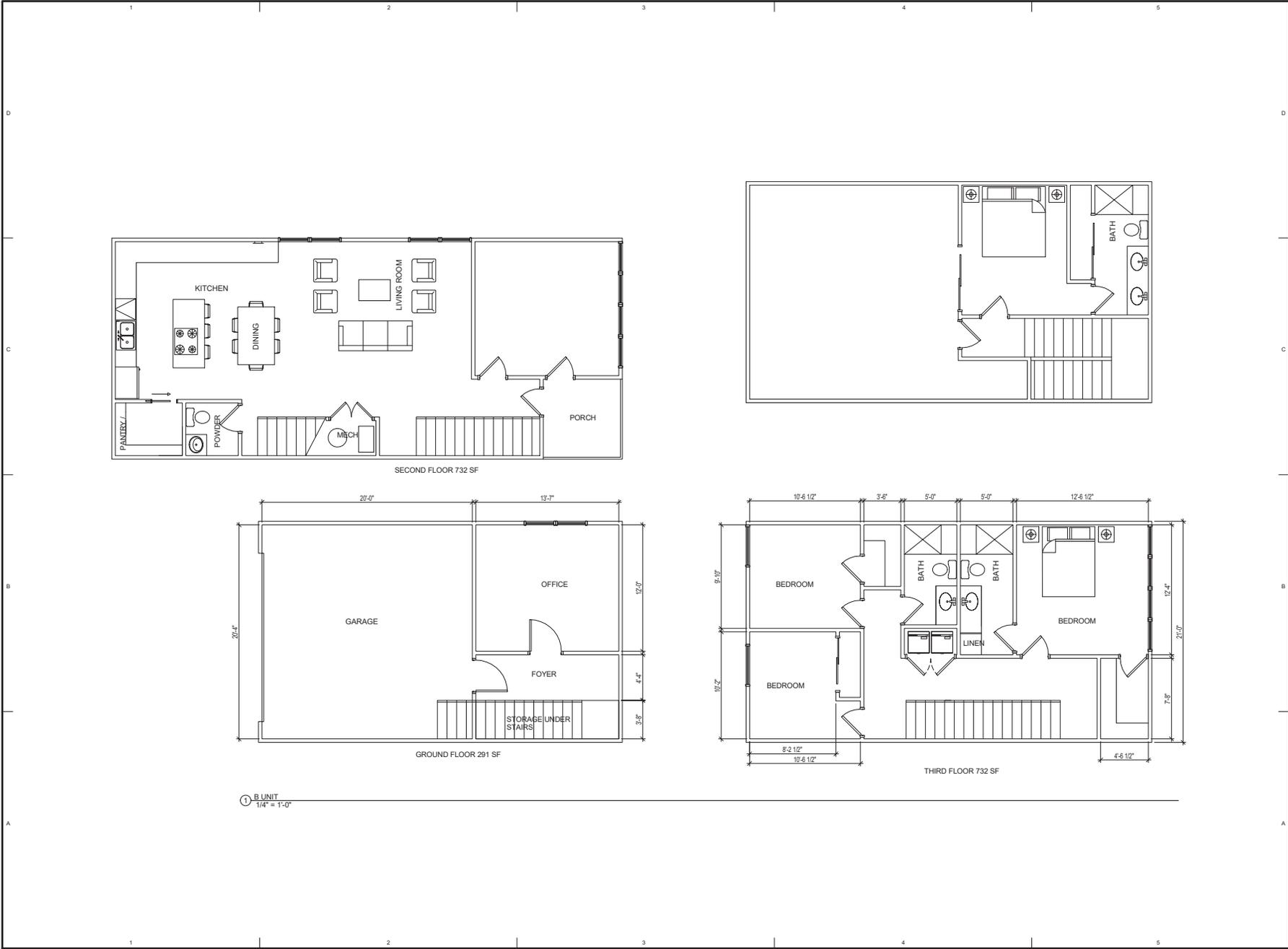
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A UNIT FLOOR PLANS

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A106

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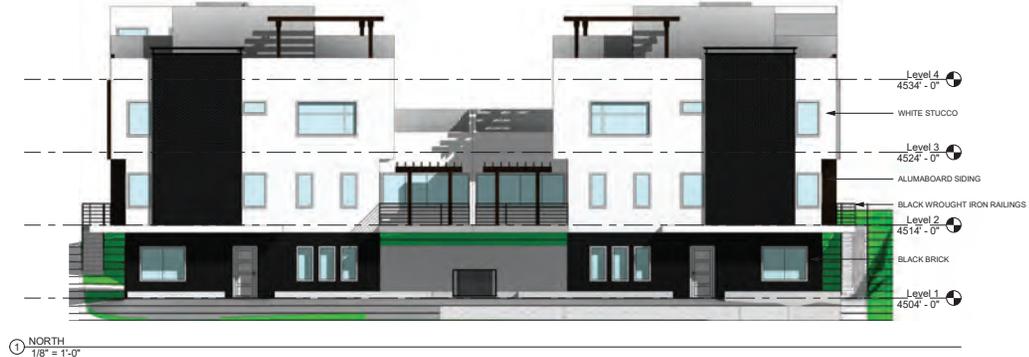
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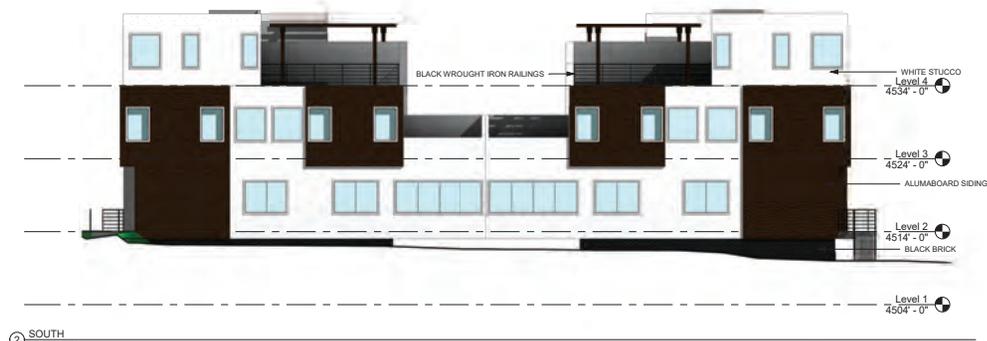
B UNIT FLOOR PLANS
A107

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① NORTH
1/8" = 1'-0"



② SOUTH
1/8" = 1'-0"



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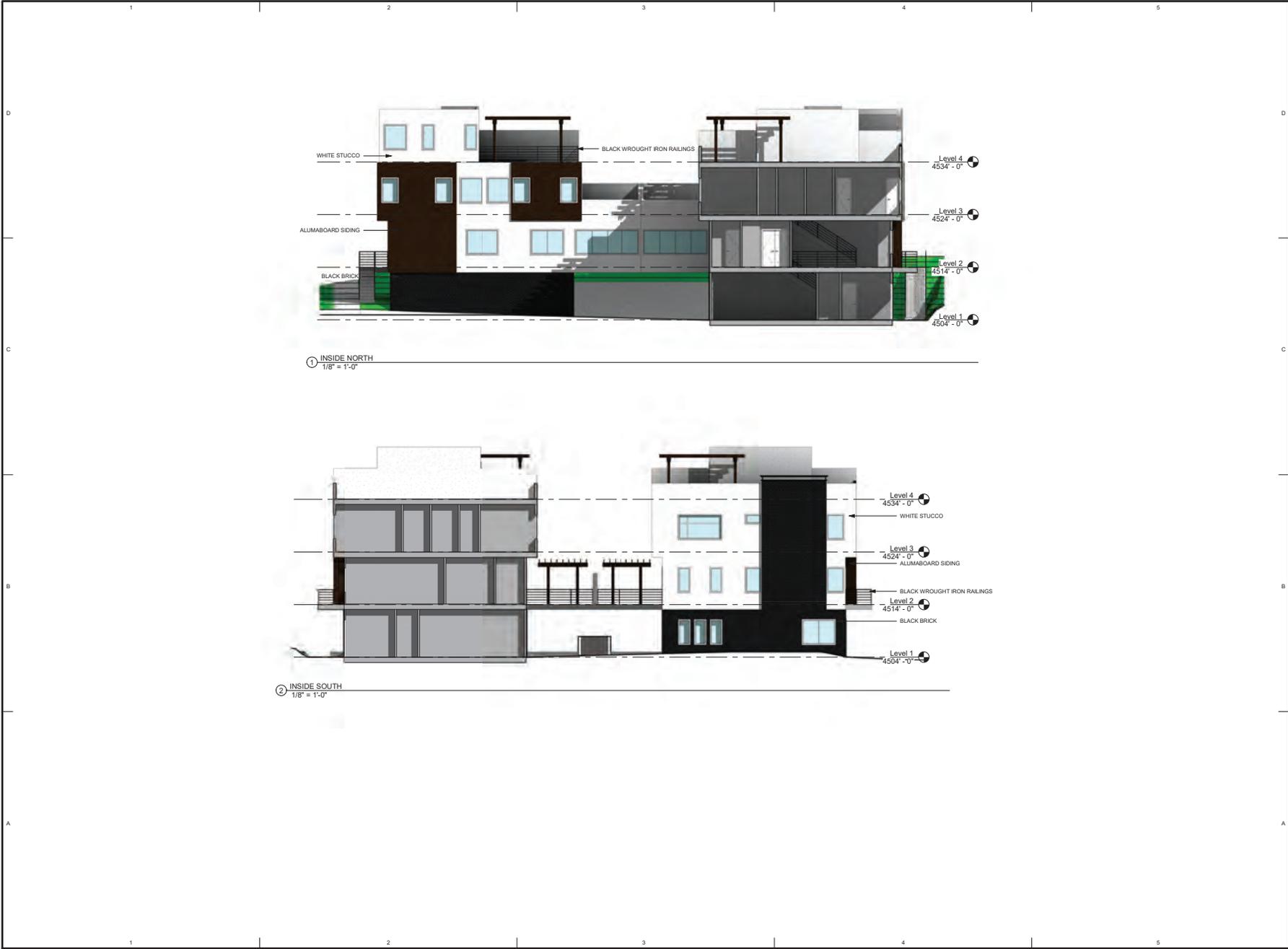
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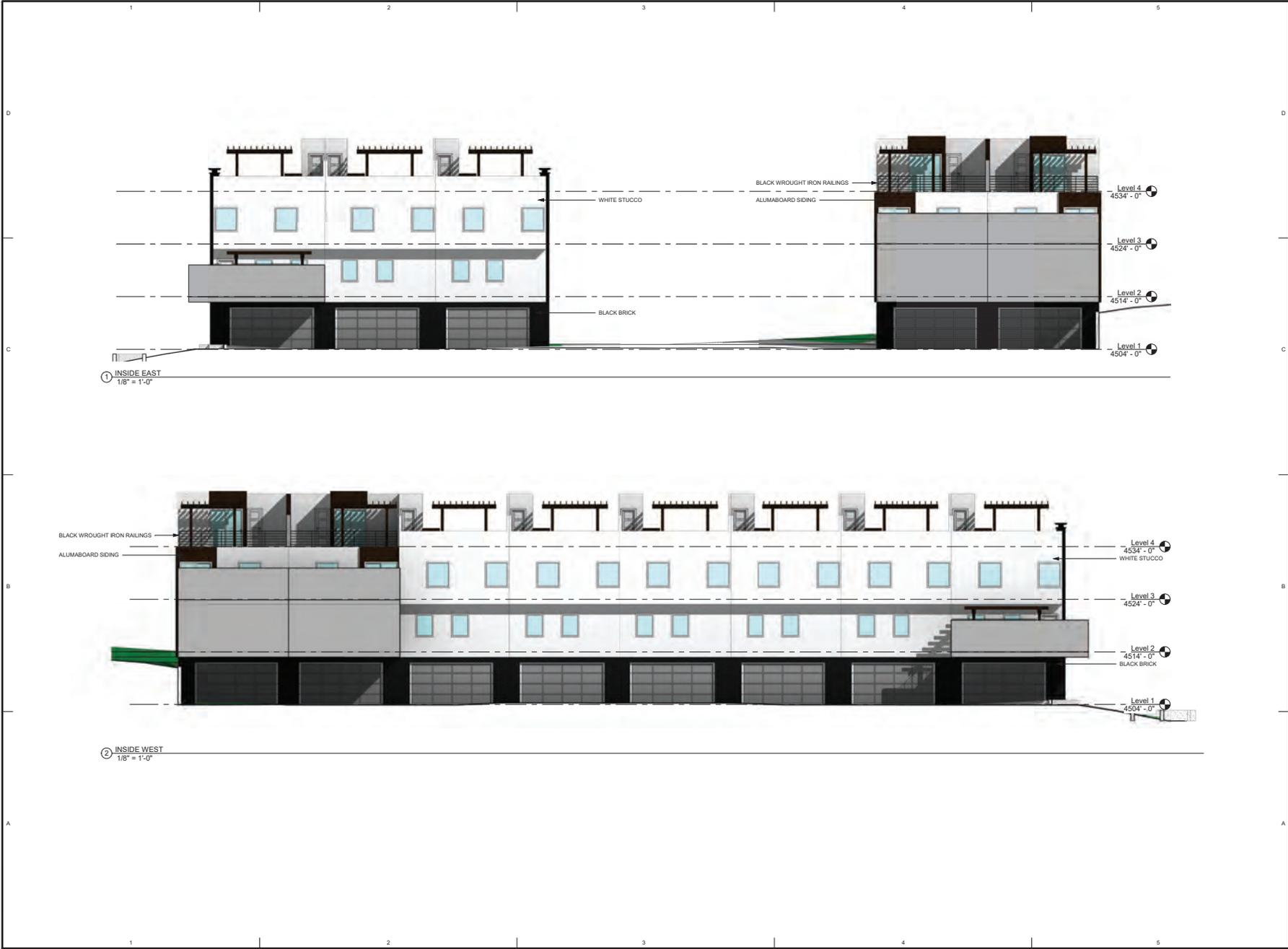
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RENDERINGS

SHEET NUMBER:
A902

1 **MINUTES OF THE COTTONWOOD HEIGHTS CITY**
2 **ARCHITECTURAL REVIEW COMMISSION MEETING**

3 **Thursday, April 24, 2019**

4 **6:00 p.m.**

5 **Cottonwood Heights City Council Work Room**

6 **2277 East Bengal Boulevard**

7 **Cottonwood Heights, Utah**

8
9 **Members Present:** Chair Scott Peters, Stephen Harman, Niels Valentiner

10
11 **Staff Present:** Associate Planner Andy Hulka

12
13 **BUSINESS MEETING**

14
15 **1.0 Welcome and Acknowledgements**

16
17 Chair Scott Peters called the meeting to order at approximately 6:00 p.m.

18
19 **1.1 Ex Parte Communications or Conflicts of Interest to Disclose.**

20
21 There were no ex parte communications or conflicts of interest to disclose.

22
23 **2.0 Business Items**

24
25 **2.1 (Project SPL-19-005) Action on a Request from Carl Churchill for a**
26 **Certificate of Design Compliance for a New Deck at 7260 South Racquet Club**
27 **Drive.**

28
29 Associate City Planner, Andy Hulka presented the staff report and stated that the applicants have
30 obtained a permit for an interior remodel, which includes the addition of an entrance. What was
31 being considered tonight was a deck for the outdoor dining area. The approximate location of the
32 proposed deck was identified on the site plan. The proposed door will match what exists. The
33 proposed deck is approximately 18' x 24' in size and constructed of a dark brown composite wood
34 material.

35
36 Reference was made to the design guidelines, which state that outdoor seating should be designed
37 to fit well with the building and be inviting to pedestrians. Staff found the request to be in
38 compliance with all City requirements. The proposed conditions set forth in the staff report were
39 reviewed and discussed.

40
41 The applicant, Carl Churchill commented that they plan to use retaining blocks and grade up the
42 slope on the north side. They will be retaining the services of a landscape designer and plant low
43 water grasses and plants on the slope. Mr. Hulka reported that there are no setback issues so long
44 as the deck is no more than 18 inches above finished grade. He explained that anything taller than
45 that is considered a structure and has to meet the setbacks, which are 25 feet from the edge of the
46 sidewalk. Possible options were discussed. Mr. Churchill was unsure of the distance from the

1 sidewalk but it was thought to perhaps be less than 10 feet. The applicant expected to have to go
2 two blocks high to get to 18 inches. A Commission Member had doubts as to whether that was
3 the case. The need to landscape the slope and construct a retaining wall was addressed. It was
4 suggested that the applicant come back with a revised design.

5
6 It was noted that the gas meters will have to be moved. Issues were identified and it was suspected
7 that it may be difficult for the applicants to meet the requirements. The ARC would want to see
8 how the retaining walls are going to look since it will be very visible. Mr. Hulka commented that
9 the Commission can decide how to proceed. The submittal for the deck contained notes on the
10 plan with the assumption that they will be able to meet the 18-inch requirement. The plans,
11 however, do not include the specifics of the landscaping and grade.

12
13 Mr. Churchill stated that they have put a lot of money into the renovation of the building and the
14 design of the space. The intent of the retaining block was to be used for retaining and be a concrete
15 color. The property will be terraced down for plants and landscaping. Mr. Churchill explained
16 that they cannot open up the other side of the business without the doorway. In addition, if the
17 deck isn't improved, steps will need to be constructed with handrails. Within a few months, they
18 expect to have the landscaping completed. Their hope was to construct the deck now and open up
19 the space. Possible options were discussed.

20
21 Potential issues were identified. Mr. Churchill expected to obtain the funding within two months
22 in order to complete the landscaping and retaining wall. The Commission was interested in seeing
23 details of what the terracing will consist of. They wanted more details about what the final product
24 will look like before granting approval. Mr. Churchill stated that it is a timing issue and if approval
25 is not granted tonight the project will be delayed by another month.

26
27 A Commission Member expressed his support for the project and bringing activity to that corner
28 but recognized that the Commission has a responsibility to ensure that the City's requirements are
29 being adhered to in an appropriate way. He was also not comfortable with gray block and
30 recommended some colored block, which is not any more costly. The block will be visible in the
31 winter months in particularly when the landscaping goes dormant.

32
33 Further clarification was needed of the 18-inch measurement. Possible options were discussed as
34 well as the possibility of obtaining a variance. A comment was made that the deck is compatible
35 with the residential neighborhood. One option was to come back with a plan showing how the
36 retaining will be done and rendering of the retaining walls and landscaping. A Commission
37 Member did not object to allowing the applicant to move forward with the deck as long as there is
38 a guarantee in place that the remainder will be completed within a specific period of time. He was
39 unsure how flexible the City can be, however, since approval is based on a permit for building
40 occupancy.

41
42 The process for variance was described, which involves meeting with the Appeals Hearing Officer.
43 It was noted that strict requirements must be met and there is no guarantee that a variance will be
44 granted. Variance requirements are set by State Code and a high bar must be met. One of the
45 requirements is that the hardship cannot be self-imposed.

1 Another option was identified as reducing the size of the deck by one-half. Preference was
2 expressed for a longer, narrower deck that is half the size of the one proposed. Mr. Churchill stated
3 that their long-term intention is to purchase the building in which case they would like to construct
4 a deck on the north side and wrap it around the building. Their future potential plans were
5 discussed.

6
7 The distance from the sidewalk to the building was measured. It was determined that the corner
8 of the building is on the setback line. Mr. Hulka commented that the Neighborhood Commercial
9 zone is unique and one of the requirements is that the setback be equal to the least restrictive
10 residential front yard setback.

11
12 Mr. Churchill commented that eventually, they hope to occupy the entire building. Possible future
13 plans were discussed. He stated that they have been rated one of the top independent coffee shops
14 in the nation. They are proud of that and have a very loyal following.

15
16 It was suggested that the applicant add more detail to the site plan. The Commission was
17 supportive of the proposal but wanted to see the specifics of a full proposal and have the details of
18 the full solution to make it work. If necessary, the Commission was willing to meet prior to the
19 next regularly scheduled meeting in an effort to expedite the process for Mr. Churchill.

20
21 *Commissioner Valentiner moved to continue consideration of SPL-19-005 to the next meeting
22 as soon as the owner can study the slope and come back and show the specifics of the retaining
23 wall and landscaping. Commissioner Harman seconded the motion. The motion passed with
24 the unanimous consent of the Commission.*

25
26 **3.0 Consent Agenda**

27
28 **3.1 Approval of Minutes of April 24, 2019.**

29
30 *Commissioner Valentiner moved to approve the minutes of April 24, 2019 after the following
31 process is met: The Recorder will prepare the minutes and email them to each member of the
32 Commission. The members will have five days to review the minutes and provide any changes
33 to the Recorder. If, after five days there are no changes, the minutes will stand approved. If
34 there are changes, the process will be followed until the changes are made and the Commission
35 is in agreement, at which time the minutes shall be deemed approved. Commissioner Harmon
36 seconded the motion. The motion passed with the unanimous consent of the Commission.*

37
38 **4.0 ADJOURNMENT**

39
40 *Commissioner Harmon moved to adjourn. Commissioner Valentiner seconded the motion. The
41 motion passed with the unanimous consent of the Commission.*

42
43 The Architectural Review Commission Meeting adjourned at approximately 6:45 p.m.

1 *I hereby certify that the foregoing represents a true, accurate and complete record of the*
2 *Cottonwood Heights Architectural Review Commission Meeting held Thursday, April 24, 2019.*

3
4
5

6 Teri Forbes

7 Teri Forbes
8 T Forbes Group
9 Minutes Secretary

10
11 Minutes Approved: _____

1 **MINUTES OF THE COTTONWOOD HEIGHTS CITY**
2 **ARCHITECTURAL REVIEW COMMISSION MEETING**

3 **Thursday, May 30, 2019**

4 **6:00 p.m.**

5 **Cottonwood Heights City Council Work Room**

6 **2277 East Bengal Boulevard**

7 **Cottonwood Heights, Utah**

8
9 **Members Present:** Niels E. Valentiner-Chair, Scott Henriksen, Stephen Harman

10
11 **Staff Present:** Community and Economic Development Director Michael Johnson,
12 Deputy City Recorder Heather Sundquist, Associate Planner Andy Hulka

13
14 **Excused:** Senior Planner Matt Taylor, Scott Chapman, Robyn Taylor-Granda,
15 Jonathan Jay Oldroyd, Scott Peters

16
17 **BUSINESS MEETING**

18
19 **1.0 Welcome and Acknowledgements**

20
21 In the absence of the Chair, Niels Valentiner assumed the Chair and called the meeting to order at
22 approximately 6:00 p.m.

23
24 **1.1 Ex Parte Communications or Conflicts of Interest to Disclose.**

25
26 **2.0 Business Items**

27
28 **2.1 (Project SPL-19-006) Action on a request from Timothy Parsons, on Behalf**
29 **of Heather Moreu, for Consideration of a Certificate of Design Compliance**
30 **for an Exterior Façade Remodel at 1930 East Fort Union Boulevard.**

31
32 Community and Economic Development Director, Michael Johnson presented the staff report and
33 stated that the property is located on Fort Union Boulevard just west of Highland Drive. The
34 subject property does not front directly on Fort Union but is within the Gateway Overlay District,
35 which requires any change or modification to the exterior of the building be reviewed by the
36 Architectural Review Commission. About one year ago, the applicant obtained a Conditional Use
37 Permit to operate a veterinary clinic on the property. At that time, the site plan was approved.
38 Now that the applicants are preparing to move in, they are proposing minor modifications to the
39 front elevation of the building. This consists primarily of wrapping the columns with a natural
40 stone and revising the dormers on the front of the building with a more natural cedar wood finish.

41
42 Mr. Johnson displayed a rendering illustrating the proposed changes. As staff reviewed the
43 request, they found that the improvements fit well within the context of the area and what exists
44 and recommended approval in accordance with the design guidelines. It was confirmed that the
45 existing signage will be removed. The signage for the new clinic will consist of a decal on the
46 door as well as an existing pole sign on the street that will be shared with Red Hanger.

1
2 *Commissioner Henriksen moved to issue a Certificate of Design Compliance for Project SPL-*
3 *19-006, as proposed. Commissioner Harmon seconded the motion. The motion passed with the*
4 *unanimous consent of the Commission.*

5
6 **2.2 (Project SPL-19-003) Action on a Request by Roderick Enterprises for**
7 **Approval of a Certificate of Design Compliance for an Exterior Façade**
8 **Remodel at KFC Restaurant at 6890 South Highland Drive.**
9

10 Mr. Johnson recommended that staff introduce the above item but the applicant was not present,
11 it was suggested that the matter be continued to the next meeting. Associate Planner, Andy Hulka,
12 reported that at a previous meeting, a Certificate of Design Compliance was approved for the
13 proposed signs and the awnings for the KFC remodel. The original approval included the condition
14 that the awnings have an eight-foot clearance and signage above the entrance must encompass the
15 doors and continue to the base as a single element. The painted wall signs were approved as
16 proposed. It was stressed that approval was for the signs and awnings only.

17
18 Since that time, the applicants have submitted revised plans that address some of the conditions of
19 the previous approval and included some changes. At the March meeting, informally some
20 suggestions were made. Although the ARC was not yet reviewing the full project, general
21 feedback was given. The main points were as follows:

- 22
- 23 • White and red colors were preferred over tan and brown;
- 24
- 25 • There shall be no gooseneck lights above the roof with the possible exception of lights
- 26 over the main entrance; and
- 27 • Remove handrails from the front entrance.
- 28

29 Since that time, staff has tried to include what exists with their March proposal and the modified
30 plans. For the most part, it is the same with the colors having been changed. The goosenecks
31 remain over the main entrance but the rest of the exterior lights were changed to new fixtures that
32 are on the wall and do not extend above it. The sign is a half-panel sign with the Colonel Sanders
33 logo. The size would remain the same and would not be extended all the way down. The applicants
34 were concerned that a full panel would cover the ADA entrance. There were also concerns about
35 accessibility and the fact that it was not approved by their corporate branding team.

36
37 Renderings of the front and rear were presented. The rear was the same except that it was painted
38 red. The side elevations also remained unchanged with the exception of the colors that were
39 changed back to red and white and the lights no longer being above the roof. The report called out
40 guidelines applicable to the project. They can now consider it more comprehensively with an
41 official set of plans. The main issues were that the entrances are to be designed to stand out and
42 for the articulation to be easily identifiable. There were comments raised previously about the
43 walkway and guardrail being awkward. It was suggested that they be revised, if possible.

44
45 A rendering of the nearby buildings was displayed. The design guidelines specify that designs
46 should be compatible with surrounding buildings and use high-quality building materials and

1 natural colors. It was suggested that the design be changed to incorporate some of the stone
2 materials or tie it in with the surrounding developments.

3
4 Mr. Hulka referred to another KFC location on 12300 South where the bottom half is brick and
5 the top half is of a similar design to what is proposed. Staff suggested that the ARC recommend
6 changes to the design. The design guidelines discourage prototypical signs and architecture for
7 big box and franchise stores. They want to encourage site-specific design and a look that is unique
8 to the proposed location that blends in with the surroundings. Although it is a franchise store, the
9 applicants should change the design to comply with the City's design guidelines.

10
11 The comment was made that the red and white is a branded image but essentially makes the entire
12 building a billboard. A preference was expressed for the previous design. The previous submittal
13 was reviewed and discussed. It was suggested that the applicants be encouraged, as they revise
14 the entrance, to make the site more pedestrian-friendly and incorporate the river rock stone and
15 tone down the colors. The desire was for the proposal to be more harmonious with the
16 surroundings. It was suggested that the rest of the building, excluding the sign, become part of the
17 shopping center in terms of colors and materials. The red color should be limited to the entrance.
18 The stripes particularly should be removed. The railing and entrance also seemed awkward and
19 uninviting. It was suggested that the railing be eliminated. It was noted that the circulation on the
20 site is odd as well. The comments were to be forwarded onto the applicant.

21
22 ***Commissioner Harmon moved to continue action on Project SPL-19-003 to the next meeting.***
23 ***Commissioner Henriksen seconded the motion. The motion passed with the unanimous consent***
24 ***of the Commission.***

25 26 **3.0 Consent Agenda**

27 28 **3.1 Approval of Minutes of May 30, 2019.**

29
30 ***Commissioner Henriksen moved to approve the minutes of May 30, 2019 after the following***
31 ***process is met: The Recorder will prepare the minutes and email them to each member of the***
32 ***Commission. The members will have five days to review the minutes and provide any changes***
33 ***to the Recorder. If, after five days there are no changes, the minutes will stand approved. If***
34 ***there are changes, the process will be followed until the changes are made and the Commission***
35 ***is in agreement, at which time the minutes shall be deemed approved. Commissioner Harmon***
36 ***seconded the motion. The motion passed with unanimous consent of the Commission.***

37 38 **4.0 ADJOURNMENT**

39
40 ***Commissioner Henriksen moved to adjourn. Commissioner Harmon seconded the motion. The***
41 ***motion passed with the unanimous consent of the Commission.***

42
43 The Architectural Review Commission Meeting adjourned at approximately 6:25 p.m.

1 *I hereby certify that the foregoing represents a true, accurate and complete record of the*
2 *Cottonwood Heights Architectural Review Commission Meeting held Thursday, May 30, 2019.*

3
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5

6 Teri Forbes

7 Teri Forbes
8 T Forbes Group
9 Minutes Secretary

10
11 Minutes Approved: _____

1 façade remodel at the KFC restaurant located at 6890 South Highland Drive. This is the third time
2 it has come before the ARC. The preferred color scheme was reviewed along with the removal of
3 gooseneck lighting from the sides of the building. A tan and brown color scheme was proposed
4 with a rock material similar to surrounding developments with a continued emphasis on
5 redesigning the entrance.

6
7 Reference was made to the previous proposal which was believed to have turned the building into
8 an advertisement for the franchise, which seemed inappropriate. Mr. Hulka emphasized that the
9 applicant is willing to implement the color scheme that is preferred by the Commission.

10
11 The applicant's representative confirmed that they are willing to go with either of the suggested
12 color schemes and are open to the preference of the Commission. Earth tones were preferred as
13 opposed to the additional cost of stone.

14
15 Commissioner Valentiner referenced the entrance and believed it was not inviting. He preferred
16 the most subdued design.

17
18 ***Commissioner Chapman moved to issue a Certificate of Design Compliance for Project SPL-***
19 ***19-003. Commissioner Henriksen seconded the motion. The motion passed with the unanimous***
20 ***consent of the Commission.***

21
22 **2.3 (Project CUP-19-005) Action on a Request by Stephen Selu (Kimley-Horn)**
23 **for Approval of a Certificate of Design Compliance for a New 7-Eleven**
24 **Convenience Store and Gas Station at 7269 South Union Park Avenue.**

25
26 Mr. Hulka presented the staff report and stated that the above request is from Stephen Selu of
27 Kimley-Horn for approval of a Certificate of Design Compliance for a new 7-Eleven located at
28 7269 South Union Park Avenue. He noted that the property has been granted a variance for
29 setbacks for the building and trash enclosure. A landscaping plan was reviewed. The awnings
30 have been adjusted and a cornice added to the proposed plan. He explained that a gas canopy plan
31 was recently received and is available for further review. Staff recommended approval of the
32 proposed project, especially with the revised plan. He felt that the applicant made a concerted
33 effort to implement recommendations suggested by the Commission.

34
35 Chair Peters commented that with the retaining wall, the entire embankment will be impacted by
36 the footings. He agreed with staff that the vegetation must be protected and should be reflected in
37 the landscaping plan. In addition, trees should be replaced with an understory groundcover to
38 protect the slope where it will be impacted.

39
40 Mr. Taylor recommended having an Arborist determine which trees are valuable and which should
41 be removed. The importance of a buffer along the backside of the creek was emphasized.

42
43 Staff explained that a gas station use is a conditional use and must be reviewed and approved by
44 the Planning Commission. One of the zoning requirements is a seven-foot wall between
45 commercial use and the residential zone or sufficient landscape buffer between. The applicant

1 proposed to maintain the buffer. Landscaping will need to be in place to meet the zoning
2 ordinance.

3
4 **Commissioner Harman moved to issue a Certificate of Design Compliance for Project SPL-19-
5 005 subject to the following conditions:**

- 6
- 7 **1. Revise the entryway design so the windows on both sides of the door are symmetrical.**
- 8
- 9 **2. All awnings must be mounted at the same level.**
- 10
- 11 **3. Modify the building-mounted light fixtures to match the color of the building.**
- 12
- 13 **4. Revise the lighting plan so that the parking lot lights are not more than 18 feet in
14 height.**
- 15
- 16 **5. Add a lintel above the entryway and windows.**
- 17
- 18 **6. Add a brick sill at the transition from the brick to EIFS material.**
- 19
- 20 **7. Add a cornice treatment to the proposed parapets.**
- 21
- 22 **8. Preserve the existing vegetation along Little Cottonwood Creek to the greatest extent
23 possible.**
- 24
- 25 **9. Add additional trees along the street frontage.**
- 26
- 27 **10. Additional signage not shown in this submittal requires approval by the ARC.**
- 28
- 29 **11. The applicant shall provide a landscape plan that shows existing vegetation to be
30 protected and details where it is being removed and replaced and a few additional trees
31 along the front.**
- 32

33 **Commissioner Henriksen seconded the motion. The motion passed with the unanimous consent
34 of the Commission.**

35
36 **2.4 (Project SPL-19-007) Action on a Request by 1700 Fort Union Partners, LLC
37 for Approval of a Certificate of Design Compliance for 24 New Townhomes at
38 Approximately 1700 East Fort Union Boulevard.**

39
40 Senior City Planner, Matt Taylor presented the staff report and stated that the above request is
41 from 1700 Fort Union Partners, LLC for site plan approval. The property consists of four existing
42 parcels, three of which three include single-family homes with one vacant lot. The surrounding
43 properties were described. Initially, the applicant proposed three live/work units and staff
44 recommended all ground apartments be live/work units as they are exactly the same. The mixed-
45 use would allow for small offices or small client-based services along the main floor. He explained
46 the Fort Union Corridor Plan is intended to redevelop Fort Union Boulevard but does impact the

1 site as they require additional right-of-way to make half of the cross-section work. Staff's
2 recommendation was prepared from the design guidelines based on those recommendations.

3
4 One area of focus was the entrance where the Commission recommended a minimalistic design.
5 Floor plans were discussed. Residents will park in designated units where they will have tandem
6 parking. Staff could place conditions on the Planning Commission in the CC&Rs to address the
7 parking management plan that would include signage of designated commercial parking.

8
9 Commissioner Valentiner expressed concern with the site not being practical with overpopulation
10 and minimal parking.

11
12 Potential parking issues were identified. A comment was made that the proposed development
13 was overcrowded with no open space.

14
15 Mr. Taylor had reservations with the site being tight but believed it could be mitigated with a
16 parking management strategy and appropriate signage. The current zoning allows for the site plan,
17 which complies with site coverage, density, and height regulations. The applicant requested
18 exceptions for a reduction of the front yard. Mr. Taylor stated that although all requirements of
19 the zone are in compliance, the ARC has input regarding the design guidelines. Options for
20 maximizing space were discussed.

21
22 It was suggested that a small porch be added and some units eliminated to maximize the space and
23 create a better flow through the development. A design curve or angular step along the front of
24 the building was recommended.

25
26 Mr. Taylor explained that although the vision for the corridor is more urban, providing too much
27 parking would destroy the urban feel and density necessary to achieve the vision. Having too little
28 parking will create spillage and issues for the neighbors. He believed that the proposed parking
29 falls somewhere in the middle for Cottonwood Heights.

30
31 The applicant stated that they originally proposed the four end units be designated for live/work
32 space. They were open to extending that to the ground floor units. He was agreeable to a small
33 balcony and creating more open space.

34
35 Design guidelines were next discussed. Mr. Taylor stated that the lighting plan was submitted
36 previously and had yet to be reviewed. The landscaping plan requires further refinement and the
37 hammerhead issue needs to be addressed. Bicycle parking was also recommended.

38
39 A comment was made that the matter has not been advanced to an approval stage and the applicant
40 has a lot of work to do and items to consider. The applicant was invited to return with corrections
41 and continue working through recommendations for consideration. Design variation issues were
42 discussed.

43
44 ***Commissioner Harmon moved to continue Project SPL-19-007. Commissioner Chapman***
45 ***seconded the motion. The motion passed with the unanimous consent of the Commission.***

1 **3.0 Consent Agenda**

2
3 **3.1 Approval of Minutes of June 27, 2019.**

4
5 *Commissioner Henriksen moved to approve the minutes of June 27, 2019 after the following*
6 *process is met: The Recorder will prepare the minutes and email them to each member of the*
7 *Commission. The members will have five days to review the minutes and provide any changes*
8 *to the Recorder. If, after five days there are no changes, the minutes will stand approved. If*
9 *there are changes, the process will be followed until the changes are made and the Commission*
10 *is in agreement, at which time the minutes shall be deemed approved. Commissioner Chapman*
11 *seconded the motion. The motion passed with the unanimous consent of the Commission.*

12
13 **4.0 ADJOURNMENT**

14
15 *Commissioner Chapman moved to adjourn. Commissioner Henriksen seconded the motion.*
16 *The motion passed with the unanimous consent of the Commission.*

17
18 The Architectural Review Commission Meeting adjourned at approximately 8:05 p.m.

1 *I hereby certify that the foregoing represents a true, accurate and complete record of the*
2 *Cottonwood Heights Architectural Review Commission Meeting held Thursday, June 27, 2019.*

3
4
5

6 Teri Forbes

7 Teri Forbes
8 T Forbes Group
9 Minutes Secretary

10
11 Minutes Approved: _____

1 *Commissioner Chapman moved to accept Project SPL-19-009 for the remodel of an existing*
2 *home without conditions. Commissioner Oldroyd seconded the motion. The motion passed with*
3 *the unanimous consent of the Commission.*

4
5 **2.2 (Project SPL-19-007) Action on a Request by 1700 Fort Union Partners, LLC**
6 **for Approval of a Certificate of Design Compliance for 24 New Townhomes at**
7 **Approximately 1700 East Fort Union Boulevard.**

8
9 Senior Planner, Matt Taylor presented the staff report and stated that a number of design criteria
10 were discussed and modifications were made to the design of the proposed project. The changes
11 made since the last review were identified as well as design considerations that had not yet been
12 resolved.

13
14 Parking issues were discussed. It was reported that there are 12 parking stalls. Mr. Taylor stated
15 that the applicants reduced the parking by two spaces since the last meeting where they were over
16 by two. The property is located on 1700 East and Fort Union Boulevard and there are three existing
17 homes on the site. The two on the east have been zoned mixed use for a few years. The properties
18 to the west were rezoned mixed-use a few months earlier. The property is in the Fort Union
19 Boulevard Master Plan, which calls for redevelopment. It is also bordered closely by R-1-8.

20
21 The parcels are currently zoned mixed-use and will be combined into one parcel. There is no
22 specific density limit as it is defined by the setbacks and building height. The applicants have
23 proposed to meet their mixed-use criteria by having live-work units. With regard to parking, the
24 applicant stated that they are proposing 2.25 spaces per unit with an additional requirement for the
25 commercial element. Parking options were described. It was noted that there is markings along
26 Main Street and on Kensington. No parking is allowed on 1700 East or Fort Union Boulevard. A
27 Commission Member commented that the parking seemed “tight”.

28
29 A traffic study was performed to address the parking concerns associated with the site. It was
30 noted that in most cases, the Institute of Transportation Engineers’ (“ITE”) manual, parking
31 standards are referred to. They recommend 1.5 spaces per unit. The applicants thought that was
32 too low for a townhome project and proposed two spaces per unit in addition to three spaces per
33 1,000 square feet of commercial area. With regard to tandem spaces, Mr. Taylor stated that there
34 is nothing specific in the Code prohibiting them but there were concerns. One of the challenges
35 the City faces in denying tandem spaces is that State law specifies that when there is ambiguity in
36 the Code, deference needs to be given to the applicant.

37
38 Another challenge the City faces is imposing more parking because the use is permitted in the MU
39 zone. Home occupations are also allowed with retail and small office. Any combination of those
40 uses qualifies in a mixed-use residential building. With regard to conditional uses, if a detriment
41 is identified, conditions can be imposed to mitigate the negative impact.

42
43 Mr. Taylor stated that the applicants are also asking for exceptions that the Planning Commission
44 will have to consider such as front and side yard setbacks. It was noted that the Fort Union Master
45 Plan calls for redevelopment of the corridor. One of the points of discussion from the last meeting
46 was the solid wall of buildings being proposed. The request will eventually be reviewed by the

1 Planning Commission who will approve the height and setbacks. They will also address site plan
2 approval. With respect to design compliance, the proposal should be compared to the Design
3 Guidelines to ensure consistency. At the last meeting, it was estimated that 20 different standards
4 were addressed and the developer either agreed to make changes or it was deemed appropriate.
5 What remains to be discussed tonight are the remaining outstanding issues.

6
7 Mr. Taylor reported that the Fort Union Corridor Master Plan was approved as City policy a few
8 years ago and established a community district that includes this area. It called for redevelopment
9 within the corridor into more mixed-use development. The proposal seemed to be consistent with
10 that plan. The plan also calls for the redevelopment of Fort Union Boulevard. The Code requires
11 an additional six feet of right-of-way as well to help meet the standards.

12
13 The previous site plan was displayed and had not changed substantially. The proposed changes
14 were identified. The applicant stated that they added more clarity to the landscape plans and low
15 front yard fencing along each of the units. Mr. Taylor identified outstanding issues and how each
16 was addressed. They include articulation of the buildings and creating a courtyard or internally
17 breaking up the main building. He also asked for feedback on the signage.

18
19 The applicant described the proposed changes and stated that with respect to breaking up the
20 buildings, on the new design they changed the façade. They were in compliance in terms of the
21 setbacks and other requirements of the Mixed-Use zone. They provided 20 feet along the project
22 but deeded right-of-way to the City to allow for future redevelopment. Landscaping was added to
23 accommodate the proposed 3.5-foot fences in front of each unit. They also redesigned the
24 walkways and made a more clear design for what will be behind the rear units.

25
26 Retaining walls and landscaping details were discussed. The applicant felt that the proposal
27 complies with the architectural guidelines. A Commission Member commented that it is a good
28 project but oversized. Concerns identified included setbacks, parking, and access. An exception
29 was requested along the front of the property due to the Fort Union Master Plan. The applicant
30 confirmed that they are fulfilling the setback requirement along the west and south border.
31 Features of the site were described.

32
33 A Commission Member pointed out that the applicants are seeking an exception because they are
34 pushing the buildings as far out as possible to accommodate an additional unit. If they were to
35 eliminate the extra unit, space would be created to break up the façade. In addition, because of the
36 power lines, they cannot plant trees. The result is to place a row of shrubs along the front and there
37 is no added design to the landscaped area. If trees and additional landscaping are not put in, they
38 should do something with the hardscaping and plantings to create something other than a sidewalk
39 along the front of the lots.

40
41 Commissioner Taylor-Granda suggested that the sidewalk be broken out where there is one access
42 on the street level. There should be articulation and definition of each area rather than just at the
43 center. She pointed out that there is very little daylight between the buildings. She reminded the
44 applicant that this is Cottonwood Heights and certain things are desired here. The master plan
45 does not intend for an entire block to be covered completely by one building. She commented that
46 the applicant has completely occupied four lots with one building. She considered that to be

1 inappropriate density for the surrounding area. The applicant stated that they designed the project
2 according to the Code. Commissioner Taylor-Granda reminded him that pursuing the highest
3 density is not required and they have consciously chosen to pursue that.

4
5 It was noted that the City has made a decision to increase density along Fort Union Boulevard. A
6 Commission Member pointed out, however, that if they go with a denser project, it should be done
7 appropriately. He was concerned when exceptions are sought that require even more density on a
8 site. If an exception is requested, it is the job of the Commission to recommend what they consider
9 to be the highest design quality in exchange for that exception.

10
11 It was suggested that one of the conditions of approval be that the mass of the building be broken
12 up. Possible options were discussed. Commissioner Taylor-Granda commented that the massing
13 and scale of the proposed building is not congruent with anything around it. The building should
14 include features that articulate the building massing and scale relative to surrounding sites. In this
15 case, there is nothing that interfaces with anything around it.

16
17 A Commission Member argued that the intent is to transform Fort Union Boulevard. It was his
18 opinion that the development needs to be more dense but more variety is needed in the building.
19 There also is very little pedestrian space on the site. In the absence of trees, planters or other
20 landscaping should be provided to add interest.

21
22 Robyn Taylor-Granda thought that as much energy should be put into this project as every other
23 and be consistent. The project will have a huge impact on the community and as proposed, sets a
24 precedent that is not desirable. She argued that the execution and not the design, is in question.

25
26 The applicant asked for possible suggestions short of eliminating units to help break up the
27 building. A Commission Member commented that it is not the job of the Commission to design
28 the building but he would like them to follow the guidelines.

29
30 Commissioner Taylor-Granda commented that two sections are not done to scale. The applicant
31 stated that one option could be to place accent units every 15 feet. Another option was to do
32 something more dramatic with two or three of the units to break them up. The applicants wanted
33 to make the site work and pursue something that can be supported by the Commission. Stacking
34 of the units was suggested as well as installing skylights to add interest.

35
36 Commissioner Taylor-Granda stated that what is proposed is larger than recent business
37 developments that the Commission has reviewed. In those cases, the Commission was careful to
38 ensure that all sides were articulated. She did not feel that what the applicants were asked to do
39 was unreasonable. She suggested that there be concern and care taken to address the other view
40 on Fort Union Boulevard.

41
42 Chair Valentiner commented that the determination of the Commission is whether they feel that
43 the buildings are designed appropriately.

44
45 A Commission Member remarked that this is not a traditional building and is a style. He stated
46 that perhaps the Commission needs to better understand how the two facades come together.

1 Procedural and timing issues were discussed. Mr. Taylor indicated that the developer is anxious
2 to move onto the Planning Commission at their August 7 meeting.

3
4 ***Commissioner Peters moved to continue the request from 1700 Fort Union Partners, LLC***
5 ***subject to the following:***

6
7 ***1. The applicants shall deal with the breaking up of the façade in a manner that is strong***
8 ***and that adds to the project. The Commission will look at quality in determining whether***
9 ***to grant an exception for the setbacks.***

10
11 ***2. The applicants shall look at and consider the site elevations of the buildings.***

12
13 ***3. The applicants shall look at the landscaping, particularly on the north side, and how it***
14 ***relates to the street and design it to have visual interest, specifically given the fact that***
15 ***they cannot plant trees due to the power lines.***

16
17 ***Commissioner Chapman seconded the motion. The motion passed with the unanimous consent***
18 ***of the Commission.***

19
20 **3.0 CONSENT AGENDA**

21
22 **3.1 Approval of Minutes for July 18, 2019.**

23
24 Mr. Taylor suggested a change to the procedure for approving the minutes and specify that they
25 will not be approved until they are received and reviewed by the Commission prior to the next
26 meeting.

27
28 **4.0 ADJOURNMENT**

29
30 ***Commissioner Peters moved to adjourn. Commissioner Valentiner seconded the motion. The***
31 ***motion passed with the unanimous consent of the Commission.***

32
33 The Architectural Review Commission Meeting adjourned at approximately 7:47 p.m.

1 *I hereby certify that the foregoing represents a true, accurate and complete record of the*
2 *Cottonwood Heights Architectural Review Commission Meeting held Thursday, July 18, 2019.*

3
4

5 Teri Forbes

6 Teri Forbes
7 T Forbes Group
8 Minutes Secretary

9

10 Minutes Approved: _____