



ARCHITECTURAL REVIEW COMMISSION MEETING AGENDA

Department of Community and Economic Development
Meeting Date: May 28, 2020

Notice is hereby given that the **Cottonwood Heights Architectural Review Commission** will hold a public meeting beginning at approximately **6:00 p.m.**, or soon thereafter, on **Thursday, May 28, 2020**. In view of the current Covid-19 pandemic, this meeting will occur electronically, without a physical location, as authorized by the Governor's Executive Order dated March 18, 2020. The public may remotely hear the open portions of the meeting through live broadcast by connecting to <http://mixlr.com/chmeetings>.

6:00 p.m. BUSINESS MEETING

1.0 Welcome and Acknowledgements

- 1.1. Ex Parte Communications or Conflicts of Interest to Disclose

2.0 Discussion Items

2.1 (Project CUP-18-003)

Action on a request by Image Sign & Lighting LLC for a revised Certificate of Design Compliance for new wall signs at 6686 S. Highland Dr. (Trilogy Medical Center)

2.2 (Project PDD-19-001)

A recommendation to the Planning Commission on a request by Wasatch Rock, LLC on design guidelines for the Planned Development District preliminary plan and rezone application of approximately 21.7 acres at 6695 S. Wasatch Blvd.

2.3 (Project ZTA-20-001)

A discussion and feedback on a proposed ordinance amending Chapter 19.44 - "Shade Trees," and amending various other provision in Title 14 - "Highways, Sidewalks and Public Places" relative to adopting additional standards regarding trees and park strips.

3.0 Consent Agenda

3.1 Approval of Minutes for May 28, 2020

(The Architectural Review Commission will move to approve the minutes of May 28, 2020 after the following process is met. The recorder will prepare the minutes and email them to each member of the Commission. The members will have five days to review the minutes and provide any changes to the recorder. If, after five days there are no changes, the minutes will stand approved. If there are changes, the process will be followed until the changes are made and the Commission agrees, at which time the minutes shall be deemed approved.)

4.0 Adjourn

Meeting Procedures

Items will generally be heard in the following order:

1. Staff Presentation
2. Applicant Presentation
3. Architectural Review Committee Deliberation
4. Architectural Review Committee Motion and Vote

Architectural Review Commission applications may be tabled if: 1) Additional information is needed in order to act on the item; OR 2) the Architectural Review Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. **NO agenda item will begin after 9 pm** without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regularly scheduled meeting.

Notice of Participation by Telephonic/Digital Means

Architectural Review Commission may participate in the meeting via telephonic communication. If a Commissioner does participate via telephonic communication, the Commissioner will be on speakerphone. The speakerphone will be amplified so that the other Commissioners and all other persons present in the room will be able to hear all discussions.

Notice of Compliance with the American Disabilities Act (ADA)

In compliance with the Americans with Disabilities Act, individuals needing special accommodations or assistance during this meeting shall notify the City Recorder at (801) 944-7021 at least 24 hours prior to the meeting. TDD number is (801) 270-2425 or call Relay Utah at #711.

Confirmation of Public Notice

On Friday, May 22, 2020 a copy of the foregoing notice was posted in conspicuous view in the front foyer of the Cottonwood Heights City Offices. The agenda was also posted on the City's website at www.cottonwoodheights.utah.gov and the State Public Meeting Notice website at <http://pmn.utah.gov>.

DATED THIS 22nd DAY OF MAY 2020
Paula Melgar, City Recorder



ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

New Wall Signs: 6686 S. Highland Dr.

Meeting Date: May 28, 2020

Staff Contact: Samantha DeSeelhorst, Assistant Planner &
Sustainability Analyst (801-944-7069, sdeseelhorst@ch.utah.gov)

Summary

Project #:
CUP-18-003

Subject Property:
6686 S. Highland Dr. (Trilogy
Medical Center)

Action Requested:
Revised Certificate of Design
Compliance for new wall signs

Applicant:
Image Sign & Lighting LLC

Recommendation:
Approve



Aerial View



Street View (Apr. 2020)

Analysis

Introduction

Image Sign & Lighting LLC has submitted a building permit application for new wall signs for the Trilogy Medical Center at 6686 S. Highland Dr. The original Certificate of Design Compliance for this building, issued on May 24, 2018, included one wall sign with the Trilogy logo. The new proposed wall signs have not been previously considered for approval by the ARC, and therefore require a revised Certificate of Design Compliance.

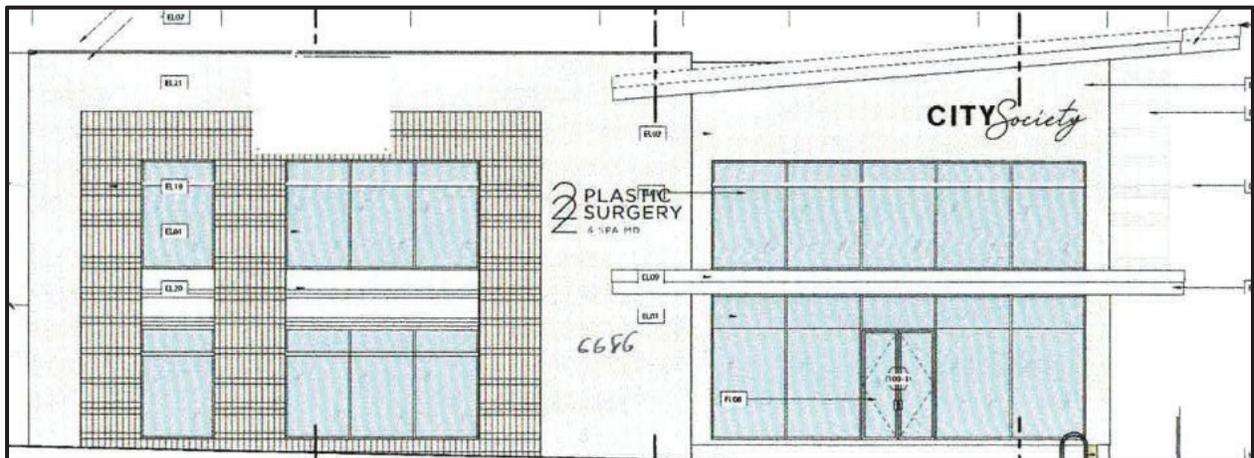
Original Approval

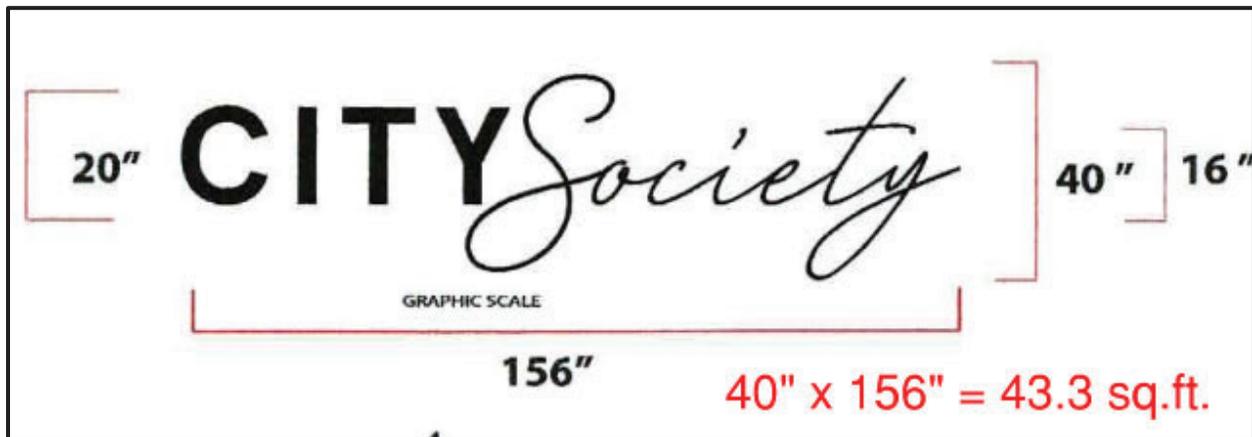
This application received its first approval by the ARC on May 24, 2018. The original Certificate of Design Compliance included preliminary designs for a wall sign that displayed the business name and logo:



Proposed Wall Signs

The latest request no longer includes a “Trilogy” wall sign, and instead proposes two new wall signs for the tenants “22 Plastic Surgery” and “City Society” at approximately 38 sq. ft. and 43 sq. ft., respectively.





The signs will be non-illuminated channel letters. The applicant also plans to include an address numbers sign using 12" letters.

[Architectural Review Commission Authority](#)

The ARC is required to review new signs for compliance with applicable design guidelines and compatibility with surrounding properties, as required by section 19.49.060 of the zoning ordinance:

19.49.060 Gateway Overlay District.

C. Certificate of design compliance. A certificate of design compliance issued by the ARC shall be required before proceeding with any new development or changes to existing development in a Gateway Overlay District. No alteration of the existing condition of land, structures, signs, landscaping or lighting, including, without limitation, demolition of any structure, application of new exterior siding material, creation of a new window or dormer, creation of a driveway or parking facility, construction of a deck, fence or garage, or enclosure of a porch shall be permitted within the Gateway Overlay District except as provided in this chapter.

D. General review criteria. The ARC must determine that the following general review criteria are met before issuing a certificate of design compliance for a project:

1. *The proposed work must comply with the applicable design guidelines for that overlay district;*
2. *The integrity of an individual historic structure is preserved, if applicable;*
3. *The design of new buildings or additions must be compatible with surrounding gateway properties; and,*
4. *The overall character of the Gateway Overlay District is protected.*

Zoning Ordinance

The property is in the Residential Office (RO) zone, which has more restrictive sign requirements than other commercial zones. The requirements for signs in the RO zone are as follows:

- Wall Signs
 - Only one allowed per building.
 - Maximum area: 6 square feet.
 - Maximum letter height: 10 inches.

The Gateway Overlay District ordinance states that when there is a conflict between the sign standards in the underlying zoning and the design guidelines, the sign standards shall be the design guidelines for the overlay district:

19.49.030 Gateway Overlay District

G. Development regulations. The development regulations of the underlying district shall apply, except where such regulations are in conflict with the adopted design guidelines for that overlay district. The following development regulations, however, control any contrary requirements of the underlying zone:

Signs: The sign standards shall be those contained within the applicable design guidelines for that overlay district approved by the city council.

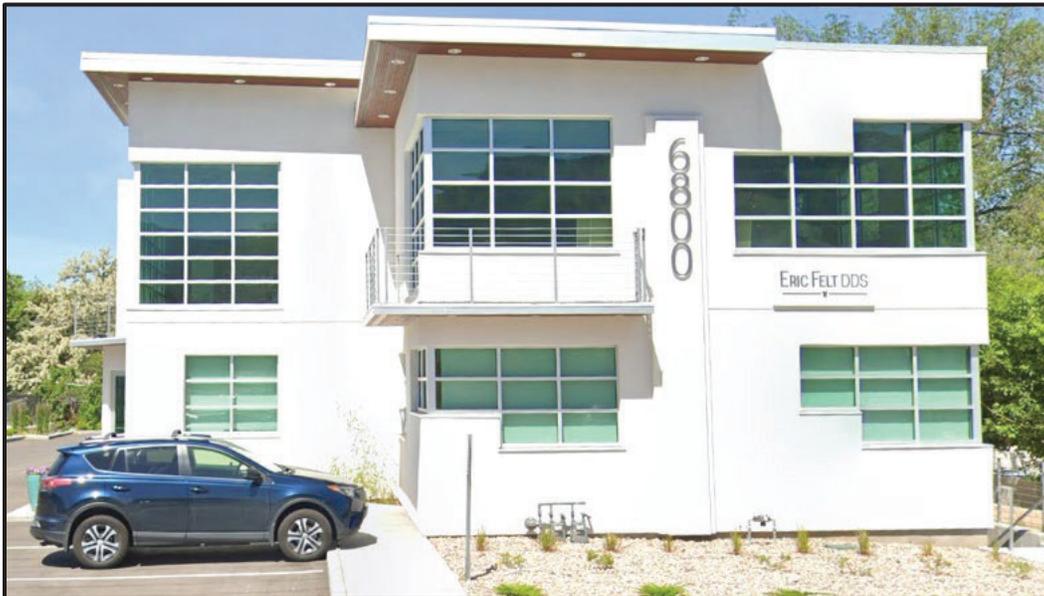
In this case, the applicant is requesting multiple wall signs that are larger than allowed by the underlying zone. The applicant's request is based on the following guidelines:

- Signs should be in scale with and in proportion to the primary building facade so that the signs do not dominate the appearance.
- Where several tenants occupy the same site, individual wall-mounted signs should be used in combination with a monument sign identifying the development and address.
- Each site should be developed to integrate with surrounding properties, including rooflines, building height, setbacks, etc.

Context

On November 29, 2018, the ARC issued a Certificate of Design Compliance for new wall signs at the Felt Dental Office at 6800 S. Highland Dr. (Project SPL-18-006). The Certificate was issued with the following conditions:

1. Wall signs must be reduced in size by approximately 30%.
2. No monument sign shall be constructed.



Felt Dental Office, Street View

Recommendation

Based on the design guidelines, staff feels that multiple signs are appropriate for the site. Staff recommends approval of the application.

Model Motions

Approval

I move to issue a revised Certificate of Design Compliance for project CUP-18-003:

- Add any additional conditions of approval...

Denial

I move to deny a revised Certificate of Design for project CUP-18-003 based on the following findings:

- List reasons for denial...

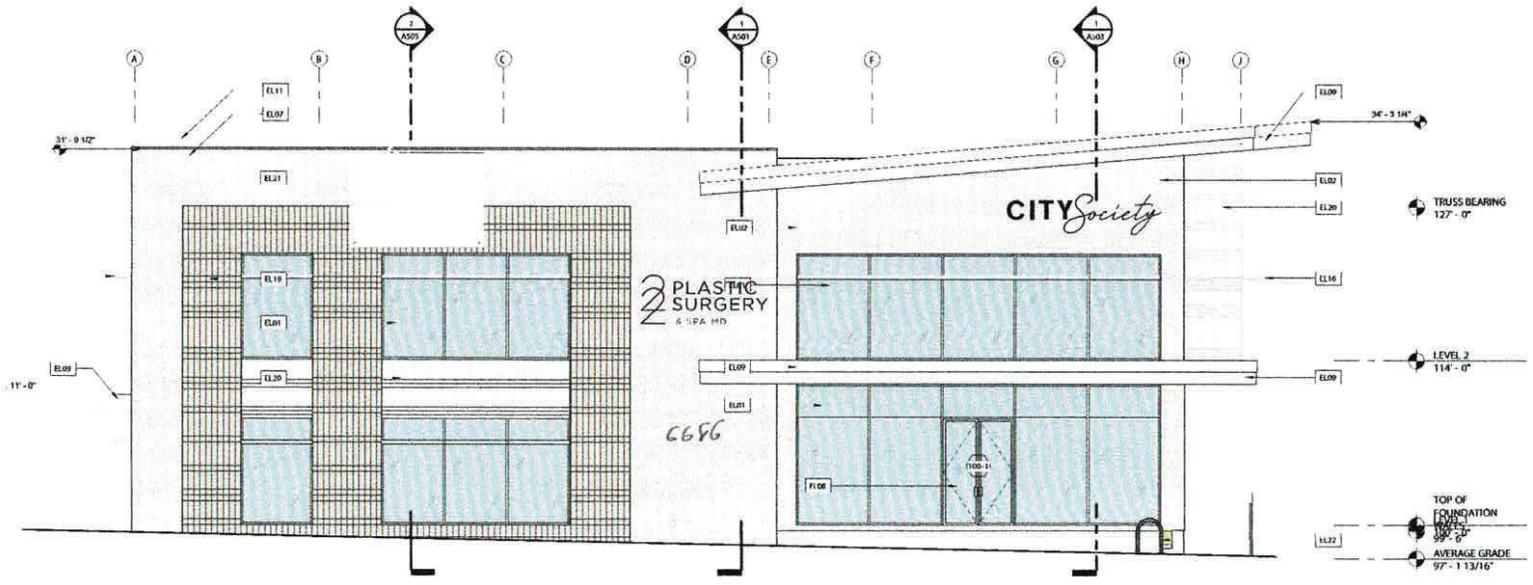
Attachments

1. Proposed Plans

20" CITY Society 40" 16"

GRAPHIC SCALE

156"



46" PLASTIC SURGERY 12" & SPA MD 12"

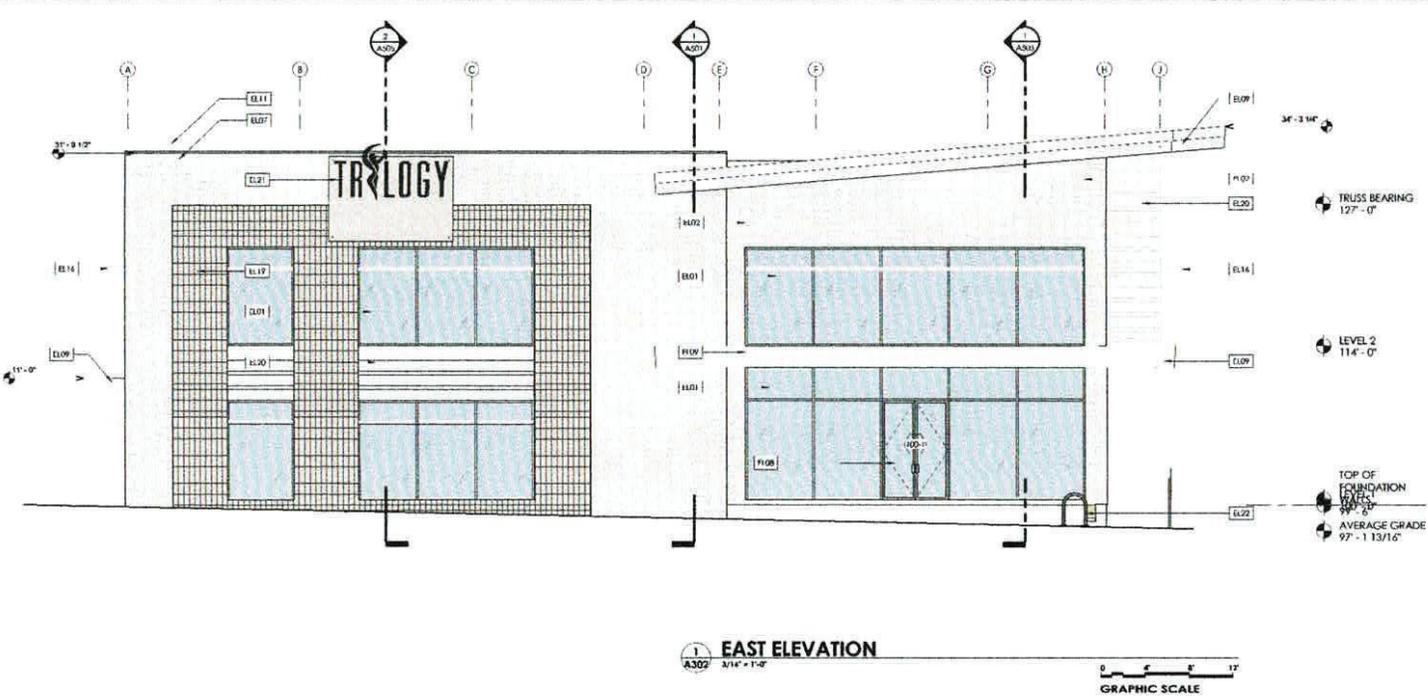
120"

1 EAST ELEVATION 3/16" = 1'-0"

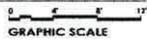


CITY *Society*

 PLASTIC SURGERY
& SPA MD



1 EAST ELEVATION
A302 1/4" = 1'-0"



2 NORTHEAST PERSPECTIVE VIEW
A302

GENERAL NOTES

1. INTERIOR DIMENSION AT FACE OF STUD. EXTERIOR DIMENSIONS AT FACE OF CONCRETE WALL / FACE OF EXTERIOR SUD.
2. ALL EXTERIOR WALLS TO HAVE R-13 CAVITY INSULATION.
3. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL COLORS AND MATERIALS AS SHOWN ON ALL DRAWINGS FOR MANUFACTURING NUMBER, STOCK NUMBER AND QUANTITY.
4. ALL EXTERIOR SURFACES TO BE TAPED, SANDED, AND PRIMED.
5. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS.
6. COORDINATE ALL WINDOW HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND SCHEDULES.
7. FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. CAULK ALL PENETRATIONS.
8. FIRE ESTIMATES, SMOKE DETECTORS AND OTHER EMERGENCY POWER AND ALARMS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
9. FRAMING CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING THROUGHOUT PROJECT AS REQUIRED TO ACCOMMODATE WALL-MOUNTED FURNISHINGS, ARTWORK, ETC.
10. FLOOR SHALL BE LOCATED 6" OFF OF ADJACENT WALL UNLESS NOTED OTHERWISE BY CONTRACTOR TO PROVIDE SUBMITTALS AND SHOP DRAWINGS ON ALL EXTERIOR DETAILS FOR APPROVAL FROM OWNER/ARCHITECT.
11. PRIOR TO ORDERING ANY EXTERIOR FINISHES, THE CONTRACTOR IS TO VERIFY COLORS AND TYPES OF MATERIALS WITH OWNER/ARCHITECT.
12. ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND BE ASSOCIATED DETAILS - SEE 0403. IF CONFLICTS OCCUR WHO MAKE COMPLIANCE WITH THE ADA IMPASSIBLE, NOTIFY ARCHITECT IMMEDIATELY PRIOR TO COMMENCING THE WORK.
13. ALL FURNITURE/APPLIANCES SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE BY THE OWNER.
14. HOLD DOOR 6" OFF ADJACENT WALL-TYP.

KEYNOTE LEGEND

- EL01 ALUMINUM STOREFRONT WINDOWS- SEE SHEET A703 FOR DETAILS
- EL02 EIFS SYSTEM, STUCCO LOOK, MIN. R-13 VALUE
- EL07 PARAPET WALLS TO EXTEND PAST ROOF- SEE ROOF PLAN & SECTIONS FOR DETAILS
- EL08 ALUMINUM STOREFRONT DOOR TO MATCH STOREFRONT- SEE DOOR SCHEDULE
- EL09 CANOPY WITH PREFINISHED ALUMINUM FASCIA & PREFINISHED ALUMINUM SOFFIT. COORDINATE FINISH W/ OWNER
- EL11 CAP FLASHING, SEE ROOF DETAILS
- EL16 EXTERIOR SUN CONTROL DEVICE
- EL19 MASONRY VENEER OVER 2X6 WOOD FRAMING EXTERIOR WALL. COORDINATE FINISH W/ OWNER
- EL20 CEMENTITIOUS SIDING WITH WOOD COLOR AND TEXTURE - COORDINATE FINISH W/ OWNER
- EL21 SIGNAGE BY OTHERS
- EL22 BIKE RACK

EXTERIOR ELEVATION COLOR:

- DRYVIT EIFS - COORDINATE COLOR AND FINISH W/ OWNER - 36% (SW 6553 HEAVENLY WHITE RGB 237 236 233)
- WOOD TEXTURE CEMENTITIOUS SIDING - 15% (APPROX. SW6546 CLOUD NINE RGB 229 229 229)
- CMU SPLIT FACE VENEER - 9% (SW 6002 ESSENTIAL GRAY RGB 192 186 181)
- GLAZING W/ REFLECTIVE COATING, INCLUDES SPANDREL & GLAZING W/ FROSTED FILM- 33%
- ALUMINUM STOREFRONT SYSTEM (PERCENTAGE INCLUDED IN GLAZING AREA)
- FASCIA AT CANOPIES - 7%

GENERAL EXTERIOR FINISH NOTES:

1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
3. SEE DETAILS ON A506 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
4. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
5. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
6. SPANDREL GLAZING TO MATCH EXTERIOR FINISH OF REGULAR GLAZING.



5/8/2019 3:04:20 PM

TRIOLOGY MEDICAL CENTER
ECKMAN CONSTRUCTION
6672 HIGHLAND DR., COTTONWOOD HEIGHTS, UT 84121

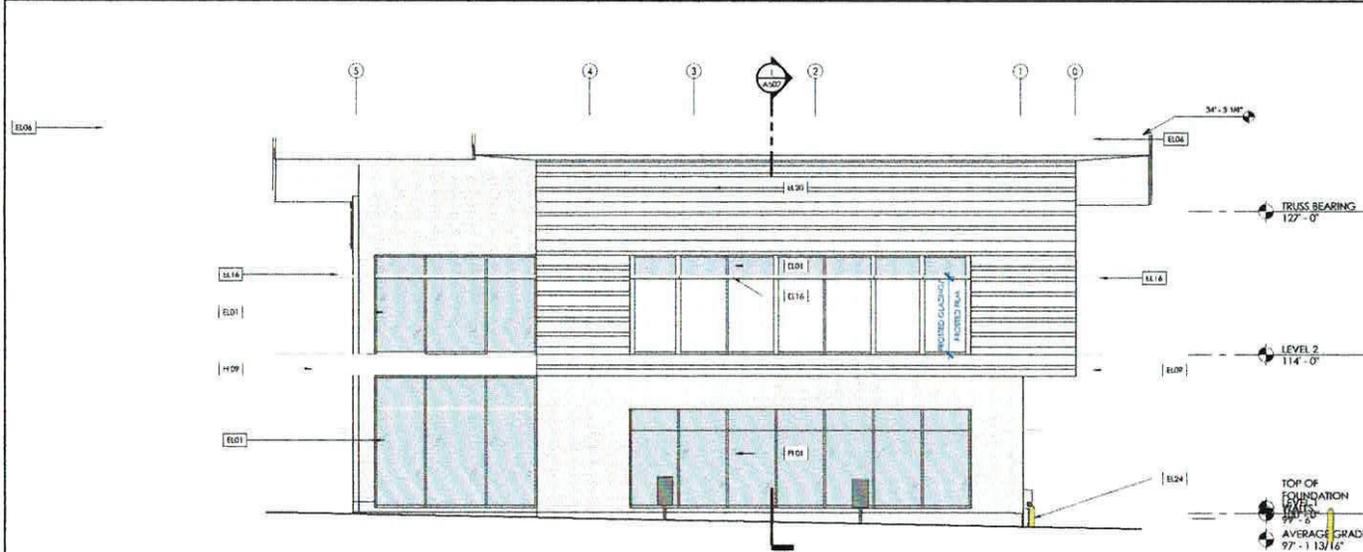


AE2017.138
EAST ELEVATION

09.27.2018

A302

DATE PLOTTED: 09/27/2018 10:02:53 AM



1 NORTH ELEVATION
3/16" = 1'-0"



2 NORTHEAST VIEW
1/8" = 1'-0"

GENERAL NOTES

1. INTERIOR DIMENSION AT FACE OF STUD. EXTERIOR DIMENSIONS AT FACE OF CONCRETE WALL FACE OF EXTERIOR STUD.
2. ALL FURRED WALLS TO HAVE 6" CAVITY INSULATION.
3. PRIOR TO CONSTRUCTION CONTRACTOR TO VERIFY ALL CEILING AND MATERIALS TO BE INSTALLED.
4. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATION.
5. ALL GYPSUM SURFACES TO BE TAPE, SANDED, AND PRIMED.
6. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS.
7. COORDINATE ALL WINDOWS HEAD HEIGHTS AND SIPS WITH FIXATIONS AND SCHEDULES.
8. RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. CAULK ALL PENETRATIONS.
9. RFP FINISHES/DETAILS/SCAFF SYSTEMS AND OTHER FINISHES/DETAILS/SCAFF AND FINISHES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. FINISHING CONTRACTOR SHALL PROVIDE ADDITIONAL BLOCKING THROUGHOUT PROJECT AS REQUIRED TO ACCOMMODATE WALL-MOUNTED FINISHES/DETAILS, ARTWORK, ETC.
10. FINISHES SHALL BE LOCATED 4" OFF OF ADJACENT WALL UNLESS NOTED OTHERWISE. CONTRACTOR IS TO PROVIDE SCHEDULES AND SHOP DRAWINGS ON ALL KEY ITEMS FOR APPROVAL FROM OWNER/ARCHITECT.
11. PRIOR TO COORDINATING EXTERIOR FINISHES, THE CONTRACTOR IS TO VERIFY ALL COLORS AND TYPES OF MATERIALS WITH OWNER/ARCHITECT.
12. ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT AND THE ASSOCIATED DETAILS - SEE 0300.
13. ALL CONFLICTS SHALL BE RESOLVED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
14. ALL FURNITURE/APPLIANCES SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR (U.M.C.).
15. EXTERIOR DOOR 2" OFF ADJACENT WALL-TYP.

KEYNOTE LEGEND

EL01	ALUMINUM STOREFRONT WINDOWS- SEE SHEET A703 FOR DETAILS
EL06	PRE-FINISHED ALUMINUM FASCIA & VENTED SOFFIT
EL09	CANOPY WITH PREFINISHED ALUMINUM FASCIA & PREFINISHED ALUMINUM SOFFIT. COORDINATE FINISH W/ OWNER.
EL16	EXTERIOR SUN CONTROL DEVICE
EL20	CEMENTITIOUS SIDING WITH WOOD COLOR AND TEXTURE - COORDINATE FINISH W/ OWNER
EL24	6" DIA. STEEL PIPE BOLLARD FILLED W/ CONCRETE, PAINTED YELLOW

EXTERIOR ELEVATION COLOR:

- DRYWIT EIFS - COORDINATE COLOR AND FINISH W/ OWNER - 36% (SW 6553 HEAVENLY WHITE RGB 237 236 233)
- WOOD TEXTURE CEMENTITIOUS SIDING - 15% (APPROX. SW6546 CLOUD NINE RGB 229 229 229)
- CMU SPLIT FACE VENEER - 9% (SW 6002 ESSENTIAL GRAY RGB 192 186 181)
- GLAZING W/ REFLECTIVE COATING. INCLUDES SPANDREL & GLAZING W/ FROSTED FILM- 33%
- ALUMINUM STOREFRONT SYSTEM (PERCENTAGE INCLUDED IN GLAZING AREA)
- FASCIA AT CANOPIES - 7%

GENERAL EXTERIOR FINISH NOTES:

1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
3. SEE DETAILS ON A506 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
4. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
5. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
6. SPANDREL GLAZING TO MATCH EXTERIOR FINISH OF REGULAR GLAZING.

aeurbia
 ARCHITECTS AND INTERIORS
 115 WEST MAIN STREET, SUITE 200
 COTTONWOOD HEIGHTS, UT 84121
 PHONE: 435.733.1111
 FAX: 435.733.1112
 WWW.AEURBIA.COM

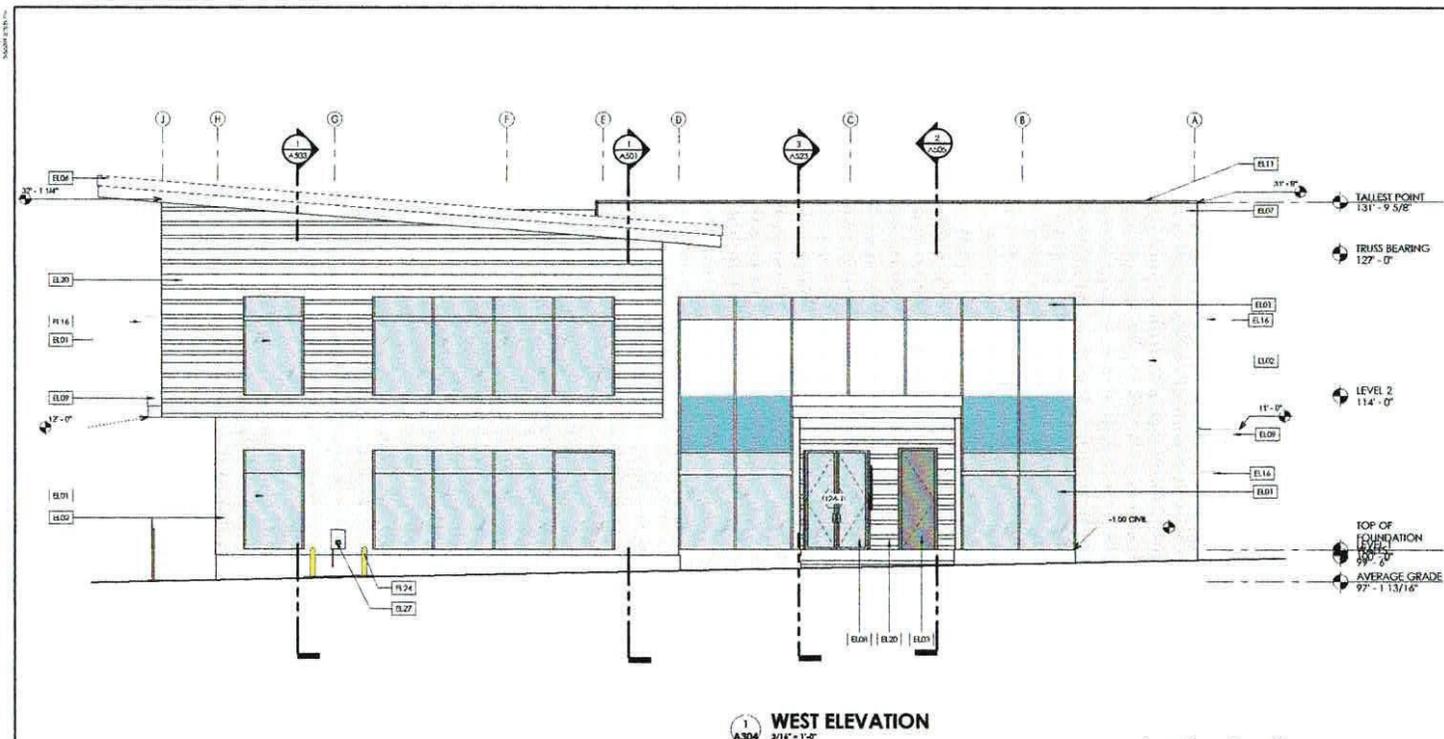
5/8/2019 3:03:53 PM

TRILogy MEDICAL CENTER
 ECKMAN CONSTRUCTION
 6672 HIGHLAND DR., COTTONWOOD HEIGHTS, UT 84121

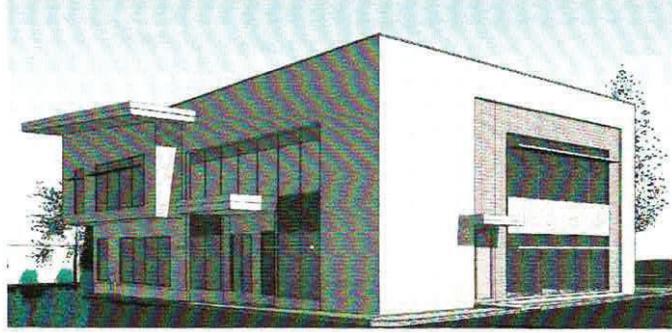


AE2017.138
NORTH ELEVATION
 09.27.2018
A301

DATE PLOTTED: 09/27/2018 10:02:53 AM



1 WEST ELEVATION
3/16" = 1'-0"



2 SOUTHWEST PERSPECTIVE VIEW

GENERAL NOTES

1. INTERIOR DIMENSION AT FACE OF STUD, EXTERIOR DIMENSIONS AT FACE OF CONCRETE WALL/FACE OF EXTERIOR STUD.
2. ALL EXTERIOR WALLS TO HAVE 8" CAVITY INSULATION.
3. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL CLUSTERS AND MATERIALS ARE AS SHOWN IN THE ARCHITECTURAL RECORDS AND DRAWINGS.
4. ALL CYCLOPS SURFACES TO BE TAPED, SANDED, AND PRIMED.
5. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS.
6. COORDINATE ALL WINDOW HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND SCHEDULES.
7. FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. CAMEL ALL PENETRATIONS.
8. FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICES TO BE PROVIDED BY THE OWNER. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL PROVIDE ADDITIONAL BLOCKING THROUGHOUT PROJECT AS REQUIRED TO ACCOMMODATE WALL-MOUNTED FURNISHINGS, AIRWORK, ETC.
9. FLOOR SHALL BE LOCATED 2" OFF OF ADJACENT WALL LINE PER CITY ORDINANCE FOR APPROVAL FROM OWNER/ARCHITECT.
10. PRIOR TO ORDERING ANY EXTERIOR FINISHES, THE CONTRACTOR IS TO VERIFY COLORS AND TYPES OF MATERIALS WITH OWNER/ARCHITECT.
11. ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND THE ASSOCIATED DETAILS - SEE CODES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENT.
12. ALL FURNITURE/APPLIANCES SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. UNLESS OTHERWISE NOTED.
13. HOLD DOOR 2" OFF ADJACENT WALL-TYP.

KEYNOTE LEGEND

- E101 ALUMINUM STOREFRONT WINDOWS- SEE SHEET A703 FOR DETAILS
- E102 EIFS SYSTEM, STUCCO LOOK. MIN. R-13 VALUE
- E103 PAINTED DOOR- SEE DOOR SCHEDULE
- E104 PRE-FINISHED ALUMINUM FASCIA & VENTED SOFFIT
- E107 PARAPET WALLS TO EXTEND PAST ROOF- SEE ROOF PLAN & SECTIONS FOR DETAILS
- E108 ALUMINUM STOREFRONT DOOR TO MATCH STOREFRONT- SEE DOOR SCHEDULE
- E109 CANOPY WITH PREFINISHED ALUMINUM FASCIA & PREFINISHED ALUMINUM SOFFIT. COORDINATE FINISH W/ OWNER
- E111 GAP FLASHING, SEE ROOF DETAILS
- E116 EXTERIOR SUN CONTROL DEVICE
- E120 CEMENTITIOUS SIDING WITH WOOD COLOR AND TEXTURE - COORDINATE FINISH W/ OWNER
- E124 6" DIA. STEEL PIPE BOLLARD FILLED W/ CONCRETE, PAINTED YELLOW
- E127 GAS METER, SEE MECHANICAL

EXTERIOR ELEVATION COLOR:

- DRYVIT EIFS - COORDINATE COLOR AND FINISH W/ OWNER - 36% (SW 6553 HEAVENLY WHITE RGB 236 233)
- WOOD TEXTURE CEMENTITIOUS SIDING - 15% (APPROX. SW6546 CLOUD NINE RGB 229 229 229)
- CMU SPLIT FACE VENER - 9% (SW 6002 ESSENTIAL GRAY RGB 192 186 181)
- GLAZING W/ REFLECTIVE COATING. INCLUDES SPANDREL & GLAZING W/ FROSTED FILM - 33%
- ALUMINUM STOREFRONT SYSTEM (PERCENTAGE INCLUDED IN GLAZING AREA)
- FASCIA AT CANOPIES - 7%

GENERAL EXTERIOR FINISH NOTES:

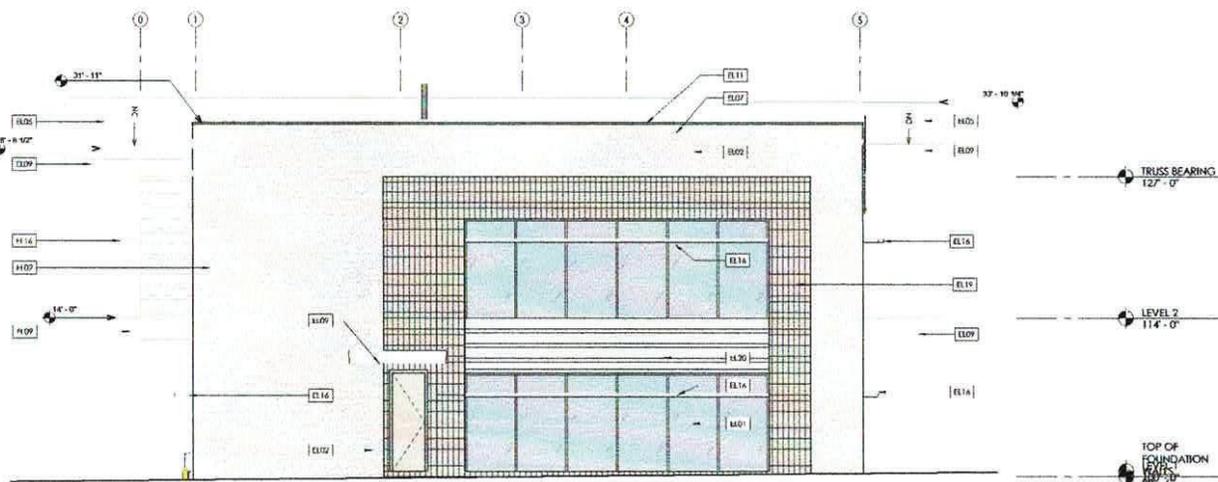
1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
3. SEE DETAILS ON A506 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
4. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
5. REFER TO MECHANICAL CDM-CHECK FOR GLAZING STANDARDS.
6. SPANDREL GLAZING TO MATCH EXTERIOR FINISH OF REGULAR GLAZING.



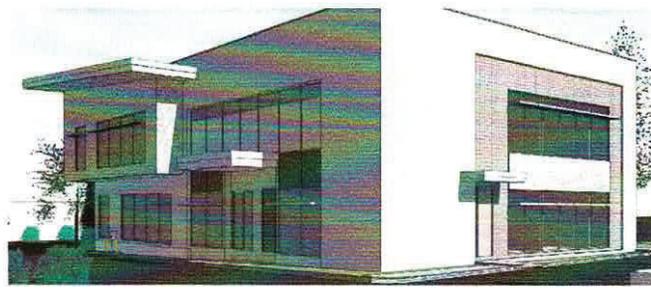
5/8/2019 3:05:39 PM

TRILogy MEDICAL CENTER
ECKMAN CONSTRUCTION
6672 HIGHLAND DR., COTTONWOOD HEIGHTS, UT 84121

AE2017.138
WEST ELEVATION
09.27.2018
A304



1 SOUTH ELEVATION
3/12" = 1'-0"



2 SOUTHWEST VIEW
3/12" = 1'-0"

GENERAL NOTES

1. INVERTION DIMENSION AT FACE OF SLAB. DIMENSION DIMENSIONS AT FACE OF CONCRETE WALL FACE OF EXTERIOR SLAB.
2. ALL EXTERIOR WALLS TO HAVE R-13 CAVITY INSULATION.
3. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL COLORS AND MATERIALS AS SHOWN ON DRAWINGS. IF DISCREPANCY, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL EXTERIOR SURFACES TO BE TYPED, SANDED, AND PRIMED.
5. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS.
6. COORDINATE ALL WINDOW HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND SCHEDULES.
7. RATED ASSEMBLIES SHALL BE COORDINATED BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. CANALS ALL PENETRATIONS.
8. FIRE RATED ASSEMBLIES SHALL BE COORDINATED WITH OTHER RATED ASSEMBLIES AND SHALL BE LOCATED AS SHOWN ON DRAWINGS.
9. FIRE DETECTORS, SMOKE DETECTORS AND OTHER SENSITIVE DEVICES LOCATIONS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION. FRAMING CONTRACTOR SHALL PROVIDE ADDITIONAL BLOCKING THROUGHOUT PROJECT AS REQUIRED TO ACCOMMODATE WALL MOUNTED FURNISHINGS, ARTWORK, ETC.
10. DOORS SHALL BE LOCATED 4" OFF OF ADJACENT WALL UNLESS NOTED OTHERWISE. CONTRACTOR TO PROVIDE CURBS AND SLOPE FOR WALKWAYS BY ALL ITEMS FOR APPROVAL FROM OWNER/ARCHITECT.
11. FROM TO COORDINATE ANY FINISH FINISHES, LINE COORDINATION IS TO VERIFY COLORS AND TYPES OF MATERIALS WITH OWNER/ARCHITECT.
12. ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT AND THE ASSOCIATED CODES. SEE CODES IF CONFLICTS OCCUR WHICH ARE IN COMPLIANCE WITH THE ADA UNLESS OTHERWISE NOTED IMMEDIATELY BEFORE COMMENCING THE WORK.
13. ALL FINISHES/APPLIANCE IS TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR, U.A.C.
14. HOLD DOOR 6" OFF ADJACENT WALL TOP.

KEYNOTE LEGEND

EL01	ALUMINUM STOREFRONT WINDOWS - SEE SHEET A703 FOR DETAILS
EL02	EFS SYSTEM, STUCCO LOOK, MIN. R-13 VALUE
EL05	TPO ROOFING - SEE ROOF PLAN & SECTIONS FOR ADDITIONAL INFORMATION
EL07	PARAPET WALLS TO EXTEND PAST ROOF - SEE ROOF PLAN & SECTIONS FOR DETAILS
EL09	CANOPY WITH PREFINISHED ALUMINUM FASCIA & PREFINISHED ALUMINUM SOFFIT, COORDINATE FINISH W/ OWNER
EL11	CAP FLASHING, SEE ROOF DETAILS
EL16	EXTERIOR SUN CONTROL DEVICE
EL19	MASONRY VENEER OVER 2X6 WOOD FRAMING EXTERIOR WALL - COORDINATE FINISH W/ OWNER
EL20	CEMENTITIOUS SIDING WITH WOOD COLOR AND TEXTURE - COORDINATE FINISH W/ OWNER

EXTERIOR ELEVATION COLOR:

- DRYVIT EFS - COORDINATE COLOR AND FINISH W/ OWNER - 36% (SW 6553 HEAVENLY WHITE RGB 237 236 233)
- WOOD TEXTURE CEMENTITIOUS SIDING - 15% (APPROX. SW6546 CLOUD NINE RGB 229 229 229)
- CAULK SPLIT FACE VENEER - 9% (SW 6002 ESSENTIAL GRAY RGB 192 186 181)
- GLAZING W/ REFLECTIVE COATING, INCLUDES SPANDREL & GLAZING W/ FROSTED FILM - 33%
- ALUMINUM STOREFRONT SYSTEM (PERCENTAGE INCLUDED IN GLAZING AREA)
- FASCIA AT CANOPIES - 7%

GENERAL EXTERIOR FINISH NOTES:

1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
3. SEE DETAILS ON A506 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
4. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
5. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
6. SPANDREL GLAZING TO MATCH EXTERIOR FINISH OF REGULAR GLAZING.



5/8/2019 3:04:58 PM

TRILogy MEDICAL CENTER
ECKMAN CONSTRUCTION
6672 HIGHLAND DR., COTTONWOOD HEIGHTS, UT 84121

AE2017.138

SOUTH ELEVATION

09.27.2018

A303



10915 RANCHO BERNARDO RD., SUITE 250
SAN DIEGO, CA 92118
PROJECTMANAGER@SULLAWAYENG.COM
(858) 317-5150
www.sullawayeng.com

SIGN DESIGN
ENGINEERING
STANDARDS:
FOR THE STATE
OF UTAH

PROJECT NUMBER:
19359

DATE: 11-6-2018

SCALE: NO SCALE

DRAWN BY: MRS

DESIGNED BY: MRS

REVISIONS:
NO. DATE

1

2

3

4

5

THIS ELECTRONIC
SIGNATURE HAS BEEN
AUTHORIZED BY ME



CHANNEL LETTERS

LETTER SIZE	APPROX. SQ. FT. AREA	LAG SCREWS INTO WOOD STUDS		HILTI HIT HY 200 - HAS INTO CONCRETE		HILTI KWIK BOLT T2 INTO CONCRETE		HILTI K39 INTO FULLY GROUTED CMU	
		NUMBER OF BOLTS & DIAMETER	EMBEDMENT	NUMBER OF BOLTS & DIAMETER	EMBEDMENT	NUMBER OF BOLTS & DIAMETER	EMBEDMENT	NUMBER OF BOLTS & DIAMETER	EMBEDMENT
UP TO 18" HIGH	TO 2.4	3-3/8"	1 1/2"	3-3/8"	2 1/2"	3-3/8"	1 1/2"	3-3/8"	1 1/2"
20" TO 30"	6.9	3-3/8"	1 1/2"	3-3/8"	2 1/2"	3-3/8"	1 1/2"	3-3/8"	1 1/2"
32" TO 48"	18	3-3/8"	1 1/2"	3-3/8"	2 1/2"	3-3/8"	1 1/2"	3-3/8"	1 1/2"
50" TO 60"	28	5-3/8"	1 1/2"	5-3/8"	2 1/2"	5-3/8"	1 1/2"	5-3/8"	1 1/2"
62" TO 86"	64	11-3/8"	1 1/2"	11-3/8"	2 1/2"	11-3/8"	1 1/2"	11-3/8"	1 1/2"
88 TO 120"	100	13-3/8"	1 1/2"	13-3/8"	2 1/2"	13-3/8"	1 1/2"	13-3/8"	1 1/2"

NOTES:

1. TYPE OF FASTENER WILL VARY WITH EACH MOUNTING SURFACE.
2. SOME APPLICATIONS MAY REQUIRE A STRUCTURAL BACKUP SUCH AS ANGLE IRON OR PLATES.
3. MAXIMUM HEIGHT ABOVE FINISHED GRADE IS 60 FEET.
4. FASTENERS SHALL BE EQUALLY SPACED WITHIN LETTER.

GENERAL NOTES:

1. VALUES BASED ON DOUGLAS FIR WOOD OR BETTER.
2. 8" MINIMUM DISTANCE FROM EDGE OF WALL.
3. MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNITS.
4. THE CMU BLOCK SHALL CONFORM TO ASTM C90 WITH STRENGTH $f_m = 1500$ PSI.
5. HILTI K39 ANCHORS MUST BE INSTALLED A MINIMUM OF 1 1/2" INCHES FROM ANY VERTICAL MORTAR JOINT.
6. ANCHOR LOCATIONS ARE LIMITED TO ONE PER MASONRY CELL WITH A MINIMUM SPACING OF 8" ON CENTER.
7. SHELLS SHALL BE FILLED SOLID WITH GROUT.
8. CONCRETE 2500 PSI MIN.

THIS ENGINEERING AUTHORIZED
FOR USE BY THE UTAH SIGN
ASSOCIATION MEMBERS ONLY

Image & Lighting

V = 105 MPH

SHEET TITLE:
LETTER SIGN ATTACHMENTS

SHEET:
518



10615 RANCHO BERNARDO RD., SUITE 200
SAN DIEGO, CA 92118
PROJECTMANAGER@SULLAWAYENG.COM
(858) 312-5150
www.sullawayeng.com

SIGN DESIGN
ENGINEERING
STANDARDS;
FOR THE STATE
OF UTAH

PROJECT NUMBER:
19259

DATE: 11-8-2018

SCALE: NO SCALE

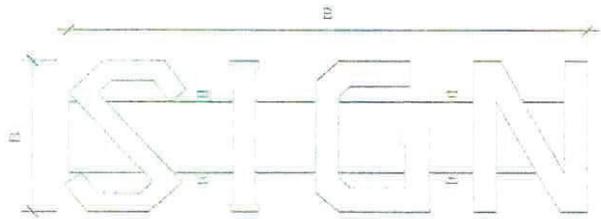
DRAWN BY: MFS

DESIGNED BY: MFS

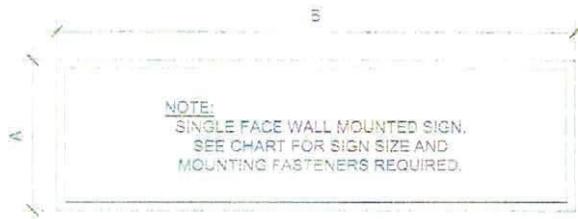
REVISIONS:
NO. DATE

1	
2	
3	
4	
5	

THIS ELECTRONIC
SIGNATURE HAS BEEN
AUTHORIZED BY ME



ELEVATION LETTERS ON RACEWAY



NOTE:
SINGLE FACE WALL MOUNTED SIGN.
SEE CHART FOR SIGN SIZE AND
MOUNTING FASTENERS REQUIRED.

SQUARE FOOT AREA = A x B

SQUARE FOOTAGE SQ. FT= AXB	WALL SIGN							
	LAG SCREWS INTO WOOD STUDS		HILTI HIT HY 200+ HAS INTO CONCRETE		HILTI KWIK BOLT T2 INTO CONCRETE		HILTI KB3 INTO FULLY GROUTED CMU	
	NUMBER OF BOLTS & DIAMETER	EMBEDMENT	NUMBER OF BOLTS & DIAMETER	EMBEDMENT	NUMBER OF BOLTS & DIAMETER	EMBEDMENT	NUMBER OF BOLTS & DIAMETER	EMBEDMENT
UP TO 24	6-1/4"	1"	6-3/8"	2 1/2"	6-3/8"	2"	7-1/4"	1 1/2"
25 TO 49	6-1/4"	1 1/2"	6-3/8"	2 1/2"	6-3/8"	2"	7-3/8"	1 1/2"
50 TO 74	7-3/8"	1 1/2"	7-3/8"	2 1/2"	7-3/8"	2"	10-3/8"	1 1/2"
75 TO 99	8-1/2"	2"	8-3/8"	2 1/2"	8-3/8"	2"	12-3/8"	1 1/2"
100 TO 124	8-1/2"	2"	8-3/8"	2 1/2"	8-3/8"	2"	15-3/8"	1 1/2"
125 TO 149	10-1/2"	2"	10-3/8"	2 1/2"	10-3/8"	2"	18-3/8"	1 1/2"
150 TO 174	11-1/2"	2"	11-3/8"	2 1/2"	11-3/8"	2"	22-3/8"	1 1/2"
175 TO 199	12-1/2"	2"	12-3/8"	2 1/2"	12-3/8"	2"	25-3/8"	1 1/2"
200 TO 224	13-1/2"	2"	13-3/8"	2 1/2"	13-3/8"	2"	28-3/8"	1 1/2"

NOTES:

1. TYPE OF FASTENER WILL VARY WITH EACH MOUNTING SURFACE.
2. SOME APPLICATIONS MAY REQUIRE A STRUCTURAL BACKUP SUCH AS ANGLE IRON OR PLATES.
3. MAXIMUM HEIGHT ABOVE FINISHED GRADE IS 60 FEET.
4. FASTENERS SHALL BE EQUALLY SPACED WITHIN THE SIGN.
5. SIGNS OVER 224 SQUARE FEET REQUIRE SPECIAL ENGINEERING.

GENERAL NOTES:

1. VALUES BASED ON DOUGLAS FIR WOOD OR BETTER.
2. 3" MINIMUM DISTANCE FROM EDGE OF WALL.
3. MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNITS.
4. THE CMU BLOCK SHALL CONFORM TO ASTM C90 WITH STRENGTH $f_m = 1500$ PSI.
5. HILTI KB3 ANCHORS MUST BE INSTALLED A MINIMUM OF 1 1/2" INCHES FROM ANY VERTICAL MORTAR JOINT.
6. ANCHOR LOCATIONS ARE LIMITED TO ONE PER MASONRY CELL WITH A MINIMUM SPACING OF 8" ON CENTER.
7. SHELLS SHALL BE FILLED SOLID WITH GROUT.
8. CONCRETE 2500 PSI MIN.

THIS ENGINEERING AUTHORIZED
FOR USE BY THE UTAH SIGN
ASSOCIATION MEMBERS ONLY

Image & Lighting

V = 105 MPH
WALL / CHANNEL LETTER SIGN ATTACHMENTS

SHEET TITLE:

SHEET:

S19

Site

Use: Single-Family Residential with Pool House

General Plan Land Use Policy: Mixed Use

Zone: F-1-21 (Foothill Residential Zone with 1/2 acre lots)

Proposed Zone: PD – Planned Development District with multiple uses and densities.

Surrounding

Existing Uses:

North: Single-Family Residential

South: Gravel Pit/Vacant Ski Shop

West: Highway/Single-Family Res.

East: Gravel Pit/Open Space

General Plan Land Use:

North: Single-Family Residential

South: Mixed-Use

West: Highway/Single-Family Res.

East: Mixed-Use

Zone:

North: Single-Family Residential

South: Gravel Pit/ CR – Regional Commercial

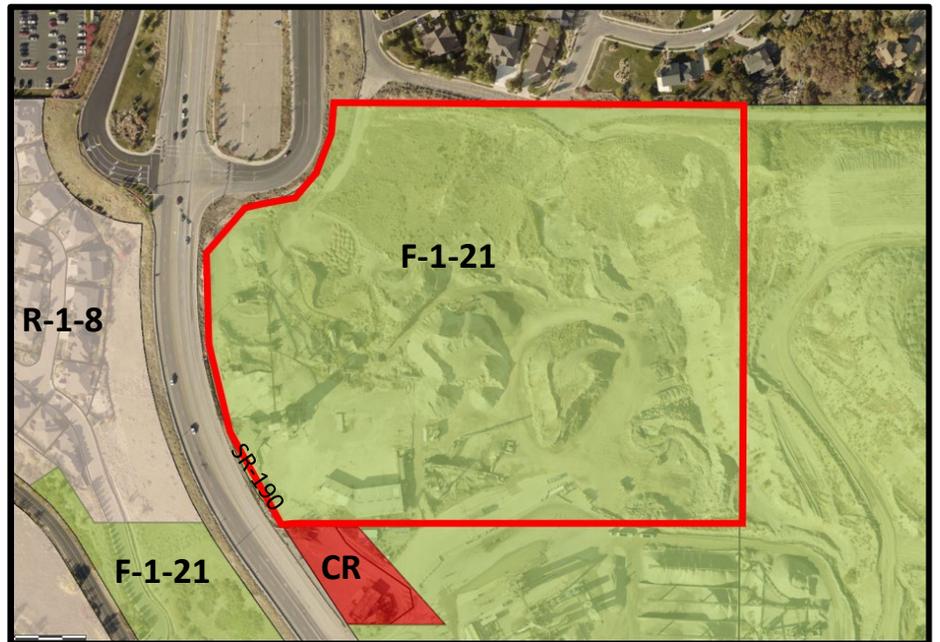
West: Highway/Single-Family Res.

East: Foothill Residential – 1/2 acre lots

Land Use



Zoning



Application Summary

This application is for a Planned Development District (PDD). PDD's are unique in that the application combines two typically separate processes into one: a zoning map amendment and a project plan approval (ultimately approved by the City Council due to its legislative nature). The process is outlined by Chapter 19.51 Cottonwood Heights City Code.

The PDD zoning classification may only be utilized in areas designated on the adopted PDD Map:

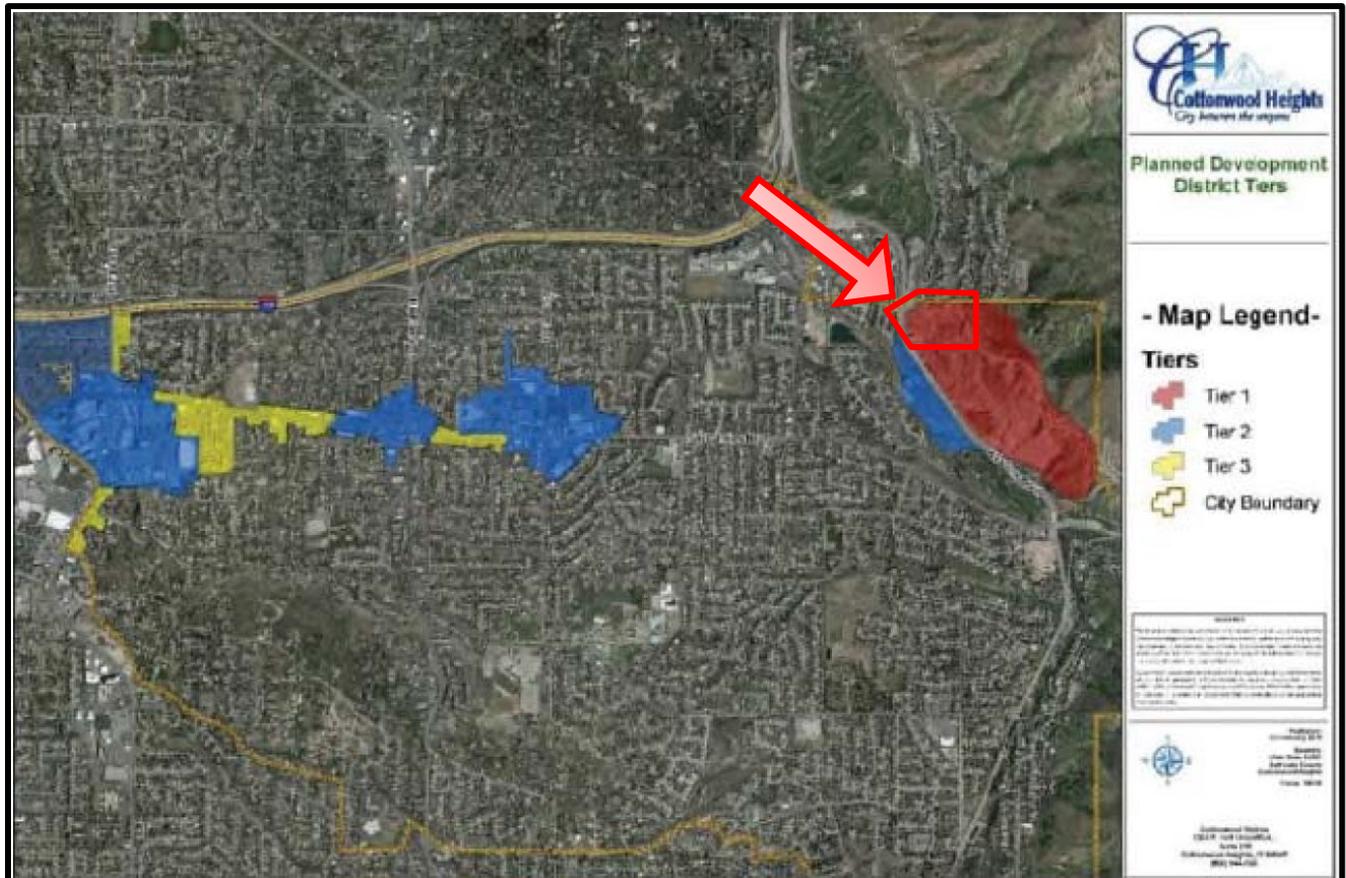


Figure 1- PDD Tiers - Map 19.51

ARC's Role in the PDD Process

Like the Planning Commission, the ARC is an administrative body that approves applications based upon compliance with existing ordinance and design guidelines. The Planning Commission also makes recommendations to the Council on legislative items such as rezones, code amendments, and general plan amendments.

The ARC is empowered:

"To act and assist the planning commission in formulating design guidelines and other supplemental materials relevant to architectural preservation or design review;"

"To approve or disapprove certificates of design compliance (described below);"
(19.49.020.D – Powers and Duties, CHC Code).

Further:

“C. Certificate of design compliance. A certificate of design compliance issued by the ARC shall be required before proceeding with any new development or changes to existing development in a Gateway Overlay District.... (19.49.030.C – Gateway Overlay District)

Although the gateway overlay design guidelines have been adopted, this project will be constructed in eight phases over several years. Each phase may be developed under different developers with differing development pressures. It is important that the entirety of the project is cohesively designed and planned.

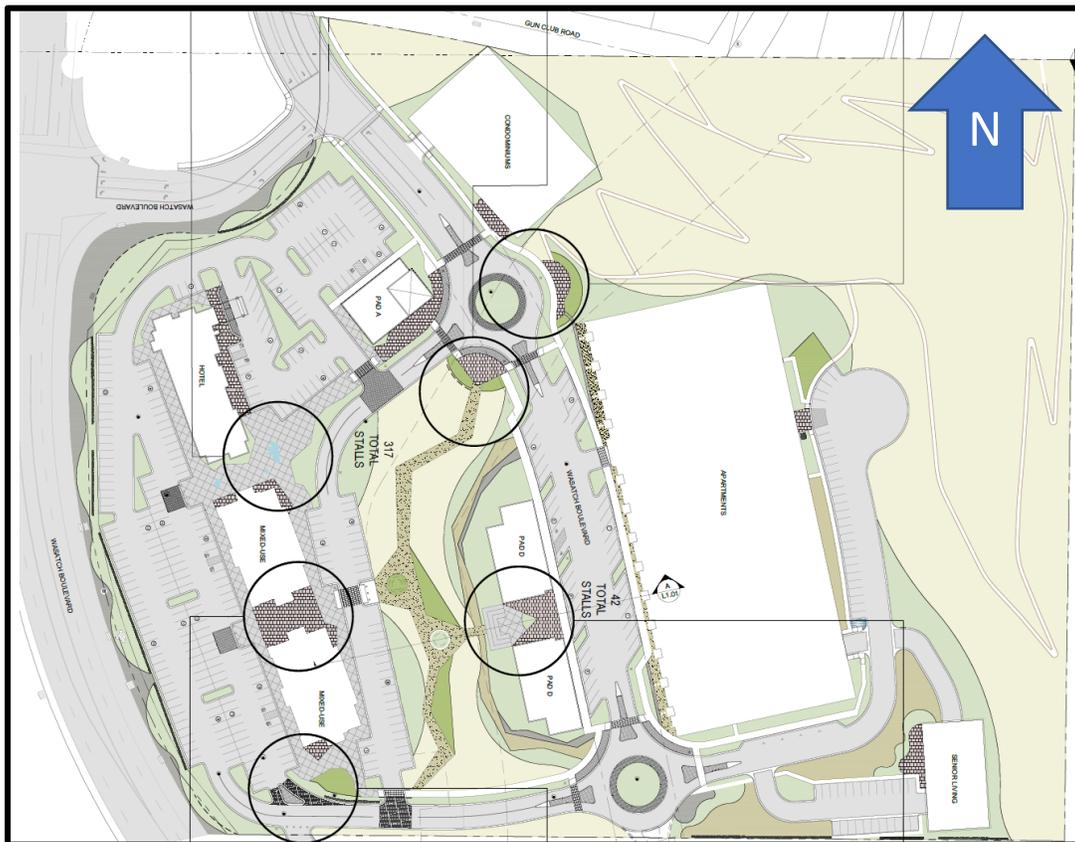
Staff recommends that supplemental guidelines should be adopted as part of the PDD ordinance to ensure future phases are developed under consistent design guidance. Any recommended guidelines will be presented to the Planning Commission and City Council for inclusion in the proposed PDD ordinance that will govern this project.

Certificate of Design Compliance Required for Site Plan

Because a preliminary site plan is adopted as part of the PDD ordinance, staff requests that a Certificate of Design Compliance is issued for the preliminary site plan and design concepts prior to Planning Commission recommendation to the City Council.

Project Summary

The revised project site plan consist of nine buildings on 21.56 acres.



The project consists of:

Building	Units	Stories	Square Feet	Parking
Apartments	284	7 (5 over 2 parking levels)	318,000	474
Condominiums	99	12 (10 over 2 parking levels)	157,000	133
Senior Living	35	2 (1 over 1 parking level)	18,000	47
Pad A – Restaurant	na	1	5,000	317 shared
Pad D-1 – Retail	na	1	6,200	21
Pad D-2 – Retail	na	1	6,200	21
MU-1	na	3	24,000	317 shared
MU-2	na	3	24,000	317 shared
Hotel	140	5	66,300	317 shared

Project Drawings and Conceptual Building Proposals

Please see Attachment “A” for the applicant’s full submittal that contains:

- Revised site plans.
- Conceptual building elevations.
- Design concepts to guide overall architectural development.

Model Motions

Approval

I move to recommend that the proposed design guidelines for the Wasatch Rock PDD zone is adopted as part of the proposed zoning ordinance and will be used by the ARC to review future phases of the project.

- List reasons for approval.

Continue

I move to continue this review of the proposed design guidelines for project PDD-19-001 based on the following findings:

- List reasons for continuance.

Attachments

- A. Applicant revised plans via this link:
<https://documentcloud.adobe.com/link/track?uri=urn%3Aaaid%3Ascds%3AUS%3A07caf2bf-d56b-4ae8-9961-c80f865cfb65>
- B. Please download previous renderings and architectural elevations via this link:
<https://documentcloud.adobe.com/link/review?uri=urn%3Aaaid%3Ascds%3AUS%3A12baf6d0-6b5c-4a55-9a2e-9a52dc7c6eec>
- C. Conditional Certificate of Design Compliance issued April 23, 2020.
- D. Proposed Design Guidelines.



ARCHITECTURE REVIEW COMMISSION (ARC) CERTIFICATE OF DESIGN COMPLIANCE

**Wasatch Rock Planned Development District, 6695 S Wasatch Blvd.
(Project #PDD-19-001)**

The ARC reviewed the above-referenced project at its meeting on April 23, 2020. In accordance with the Gateway Overlay District requirements found in Cottonwood Heights Municipal Code chapter 19.49, the ARC has granted **conditional approval** of a Certificate of Design Compliance for the Wasatch Rock Planned Development District (PDD) located generally at 6695 S. Wasatch Blvd as proposed.

Conditions of Approval:

- Project specific supplemental architectural design guidelines will be reviewed and approved by the ARC prior to preliminary approval by the Planning Commission. The guidelines will also provide the site sections through the proposed Wasatch Blvd. and incorporate the modern architectural themes as presented. The ARC will review future phases for compliance with the adopted guidelines.
- Each phase, when seeking final approval, shall be reviewed by the ARC.
 - Particular attention should be given to the interface between porches and entries and the public space and landscaped and hardscaped elements of the site.
 - Any landscaping along SR-190 should be particularly focused on an aesthetic and visual buffer and screen from parked vehicles in adjacent parking.
 - Plaza landscaping and hardscape detail are required to be presented to the ARC with all final details and demonstrating that it will activate the space for pedestrian and public use.

This certificate represents the ARC's recommendation of approval.

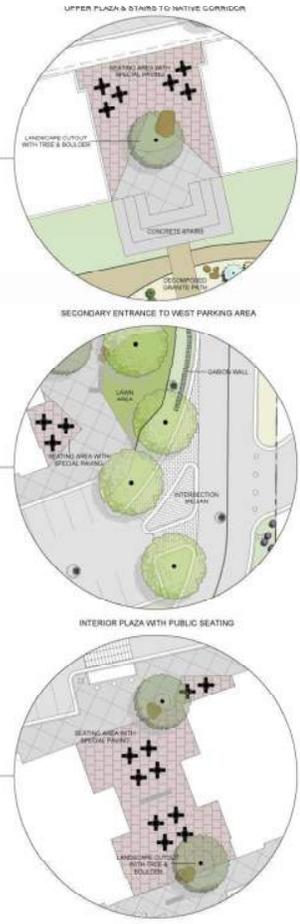
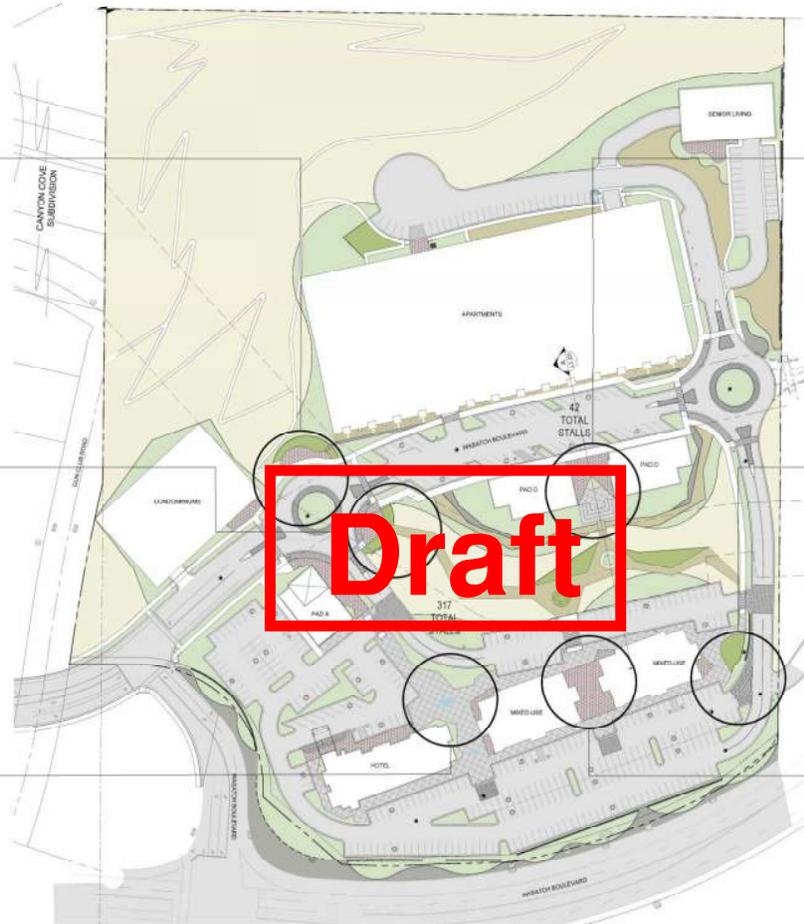
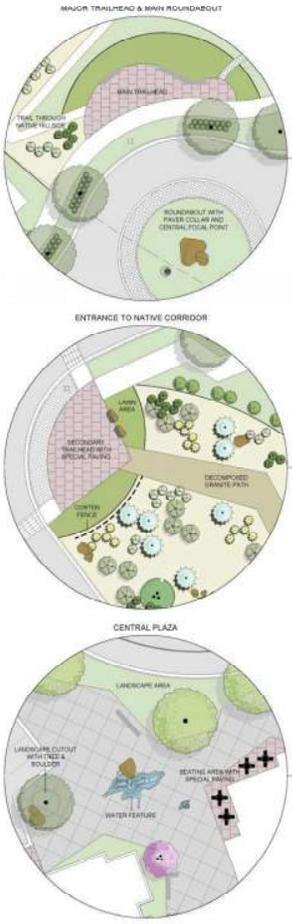
Sincerely,

Matt Taylor
Senior Planner

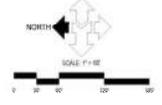
DRAFT Wasatch Rock PDD Design Guidelines

Design Theme and Architectural Standards:

The Project offers a variety of land uses including retail, office, hotel, for rent residential, for sale residential, and senior housing in a modern mountain village setting. The Modern Mountain architectural theme will be woven throughout the project knitting together a wide variety of building types, heights and massing to create a unified feel for the overall project. The theme will incorporate modern and rustic design elements including steel, wood beams, concrete, and glass to ground the design while incorporating exposed structural and decorative concrete in strategic places to pay homage to the former use of the site. Earth tone colors will be prevalent throughout the project to blend into the mountain backdrop. The variety of land uses, building heights and massing knit together through modern mountain architectural theme will enhance the dynamic and vibrant community at Wasatch Rock.



L1 - MASTER SITE PLAN
WASATCH ROCK REDEVELOPMENT
 Cottonwood Heights, Utah





VISION STATEMENT

The Wasatch Rock Redevelopment—a non-traditional mixed-use destination with a casual, energetic atmosphere—promoting an outdoor and ecofriendly lifestyle.

CONCEPT

The redevelopment will utilize the history of the "gravel pit" by integrating existing materials of rock, gravel, and water-use native vegetation, while adding distinctive, playful qualities such as rusted metal Corten-steel, galvanized, board-formed concrete and elements of wood, stone boulders and decomposed granite. The overall effect is a resilient, functional, enhanced streetscape design that is functional and attractive year-round.

This development serves as the perfect gateway to the mountains, intimate spaces and gathering places will be created throughout the site, as well as connectivity for hiking, pedestrians and motor vehicles. The Wasatch Rock redevelopment is near many outdoor activities, yet will close to the urban environment of Salt Lake City. Whether you are on your way to the airport, returning from hiking or skiing or simply want to be in the foothills, it is a unique destination all its own.

RECLAMATION

For many years, the existing gravel pit has disrupted the natural environment, removing resources and altering the landscape. The Wasatch Rock Redevelopment promises to do the opposite: restore the native landscape and vegetation, while also increasing its form and function.

The hillside on which the site sits will be re-graded to restore the natural slope, thus creating a more uniform cross slope and a usable site. The development is not "dug-in" but will be softened with soil from above—smoothing out the hillside—and then reseeded with a native seed mix, returning it to its natural contour and condition. Throughout the site, we will incorporate the native seed mix and other native plants, with the goal of creating a continuous, native landscape corridor through the entire site.

CONNECTIVITY

The circulation of bicycle and pedestrian traffic through the site is a defining feature of Wasatch Rock Redevelopment, in addition to the shared biking and walking trails through the retail area, a new on-site trail head will connect the Bonneville Shoreline Trail with the site via a multipurpose trail along Club Road.

The existing bicycle path along Wasatch Boulevard will be rerouted through the Wasatch Rock site, further encouraging passers-by to utilize this unique mixed-use development and increasing access to the multipurpose trails throughout the adjacent hillside.

Key Elements

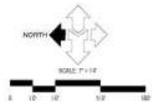
- Intimate spaces & gathering places
- Connectivity - integrating biking, pedestrian, and motor vehicles
- Gateway to the mountains
- Integrating the outdoors & urban environment
- Rustic, yet modern look and feel
- Casual vibe, perfect for shopping or just hanging out

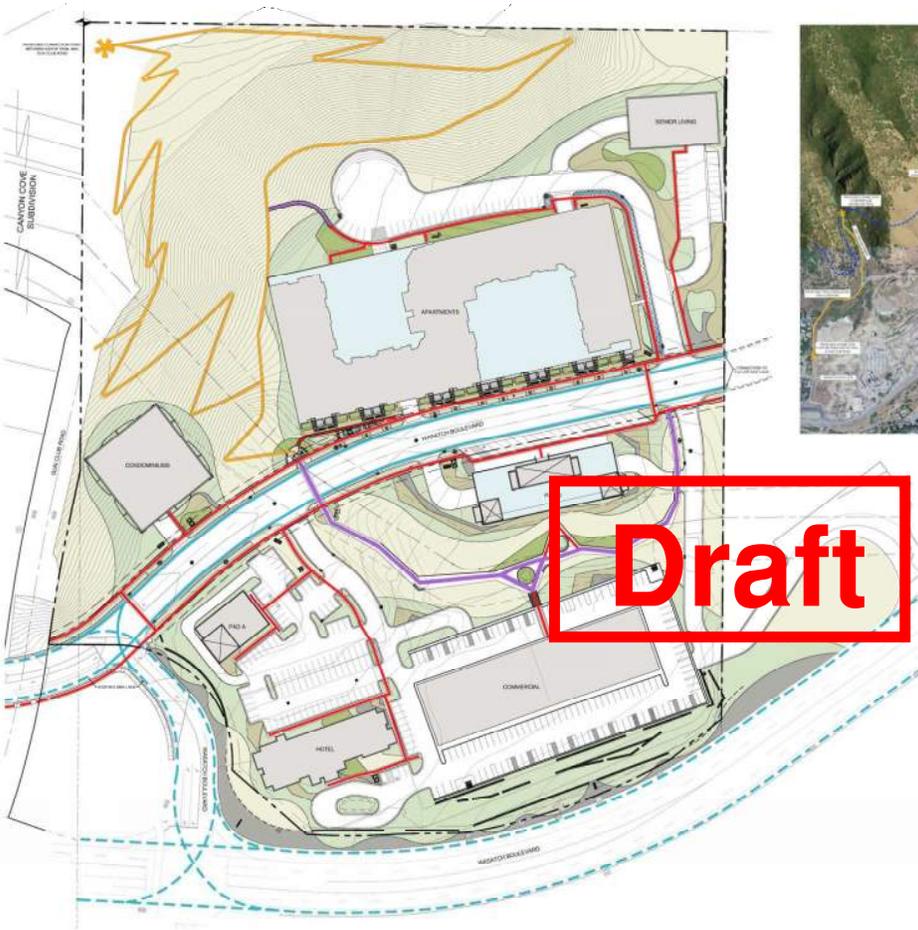
Draft



L1 - M | STE | U | N
WASATCH ROCK REDEVELOPMENT

Cottonwood Heights, Utah





CONNECTIVITY

The circulation of bicycle and pedestrian traffic through the site is a defining feature of Wasatch Rock Redevelopment. In addition to the shared biking and walking trails through the retail area, a new on-site trail head will connect the Bonneville Shoreline Trail with the site via a multipurpose trail along Gun Club Road.

The existing bicycle path along Wasatch Boulevard will be rerouted through the Wasatch Rock site, further encouraging passers-by to utilize this unique mixed-use development and increasing access to the multipurpose trails throughout the adjacent hillside.



PEDESTRIAN PATH



BICYCLE PATH



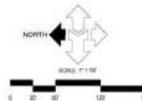
SHARED PEDESTRIAN AND BIKE PATH

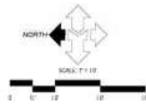
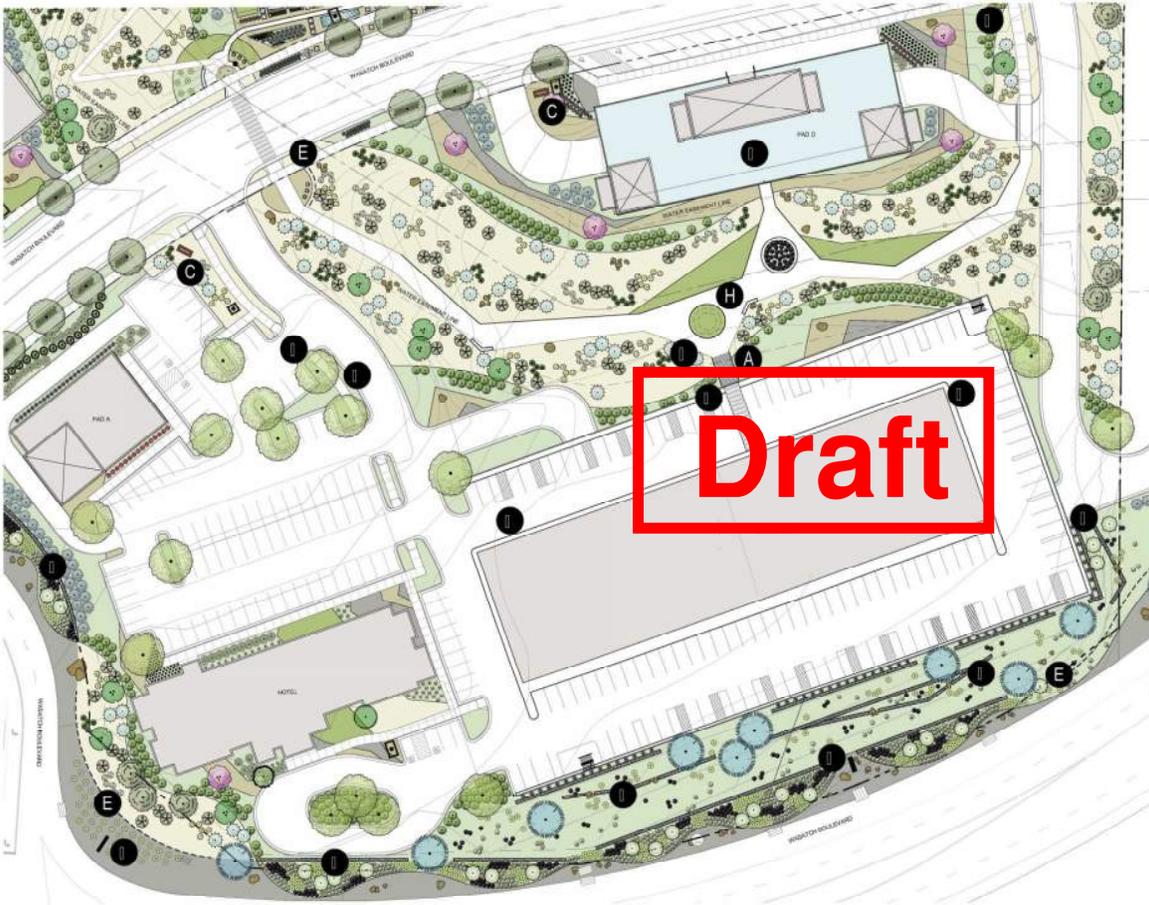


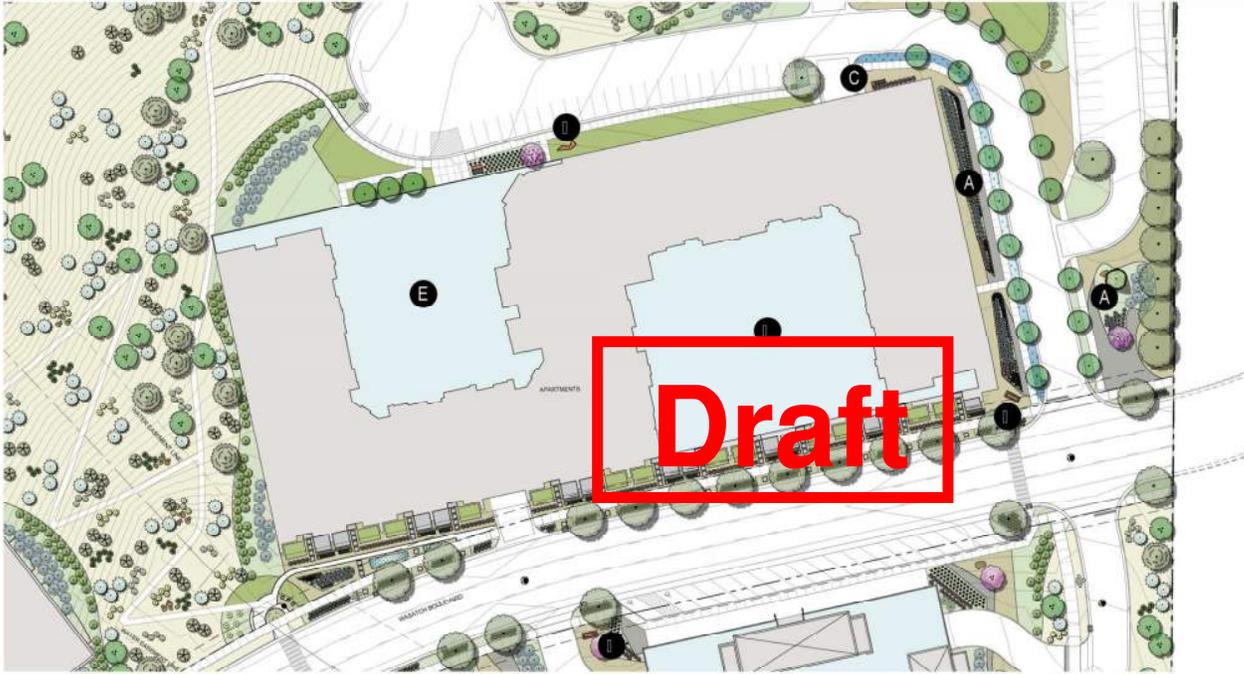
NATIVE TRAIL

L3 - BICYCLE & PEDESTRIAN CIRCULATION PLAN WASATCH ROCK REDEVELOPMENT

Cottonwood Heights, Utah







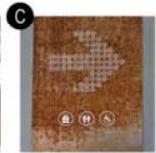
PLANTER BOX WITH COPPER TILES, SEAT AND ATTACHED CONCRETE SEATING



COPPER TILES, SEATING



FUNCTIONAL & WARM



WOODEN BENCH WITH SEAT



ACTIVE COURTYARD



ACTIVE COURTYARD

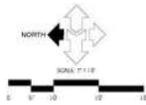


ACTIVE COURTYARD

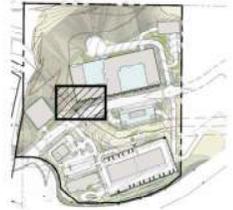


LI • • • • • TMENT • • • • • CEL
WASATCH ROCK REDEVELOPMENT

Cottonwood Heights, Utah

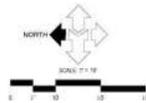


Draft



A CONCRETE PAVES (16" x 16" x 1.5")
 B GABION WALL WITH CONCRETE TOP
 C TRAIL MARKER
 D CONCRETE BOLLARD (4" x 6" x 24")
 E GABION BED WITH CONCRETE TOP

LIT - 0 0 S I TC L I O O T I L E E I
WASATCH ROCK REDEVELOPMENT
 Cottonwood Heights, Utah

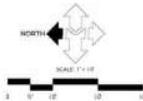




Draft



LI - CON | OMINI | MS | SENIO | LI | IN
WASATCH ROCK REDEVELOPMENT
 Cottonwood Heights, Utah



LIGHT FIXTURE SCHEDULE

NO.	SYMBOL	DESCRIPTION	MANUFACTURER	REMARKS	QUANTITY	UNIT	CLASS	TYPE	NOTE
01		REcessed LED DOWNLIGHT	OSRAM	OSRAM RAR	1	EA	01	REcessed LED DOWNLIGHT	
02		REcessed LED DOWNLIGHT	OSRAM	OSRAM RAR	1	EA	02	REcessed LED DOWNLIGHT	
03		REcessed LED DOWNLIGHT	OSRAM	OSRAM RAR	1	EA	03	REcessed LED DOWNLIGHT	
04		REcessed LED DOWNLIGHT	OSRAM	OSRAM RAR	1	EA	04	REcessed LED DOWNLIGHT	
05		REcessed LED DOWNLIGHT	OSRAM	OSRAM RAR	1	EA	05	REcessed LED DOWNLIGHT	

DSAD SERIES - LED P101

Mounting Styles: Standard, Flush Mount

MODEL	OPTICS	LED	VOLTAGE	MOUNTING	FINISH	OPTIONS
DSAD-101	Standard	LED	120V	Standard	White	None
DSAD-101	Standard	LED	120V	Flush Mount	White	None

P201

Specifications: 120V, 100W, 100lm/W, 10000h

RSX1 LED P202 P203

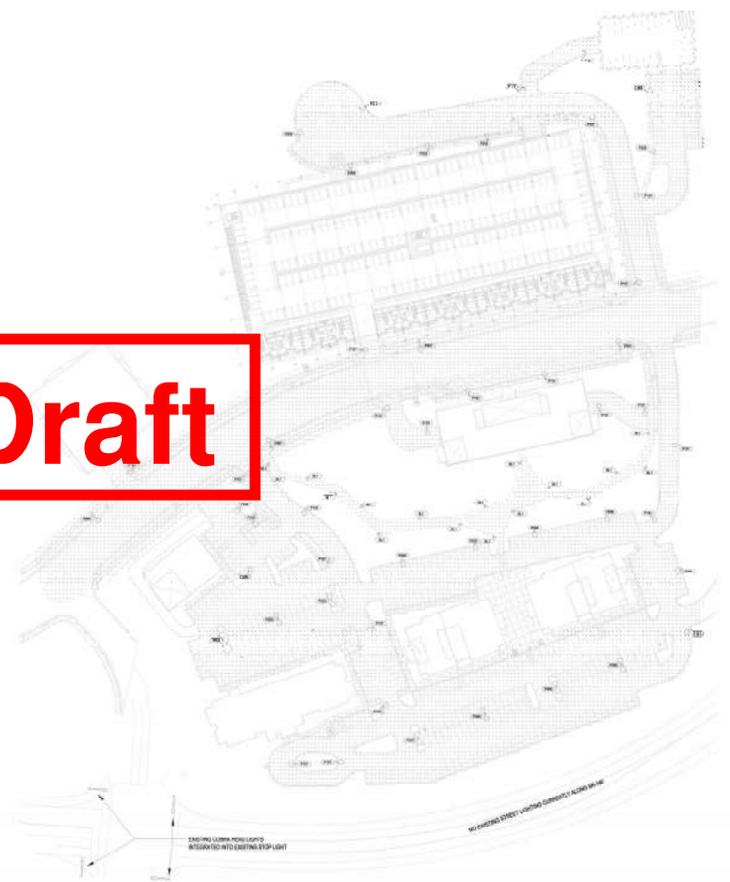
Specifications: 120V, 100W, 100lm/W, 10000h

MODEL	OPTICS	LED	VOLTAGE	MOUNTING	FINISH	OPTIONS
RSX1-202	Standard	LED	120V	Standard	White	None
RSX1-203	Standard	LED	120V	Flush Mount	White	None

TORNADO SERIES - LED BL1

LUMINAIRE	OPTICS	LED	FINISH	OPTIONS
TORNADO-BL1	Standard	LED	White	None

Draft



Master Sign Program Narrative

The site shall feature signs consistent with a first class mixed use project to provide adequate signage and wayfinding for the variety of uses being proposed in the application. Multiple signage types including but not limited to blade, crown, storefront, and monument signage will be located through out the proposed project to enhance visual connection and recognition for patrons, residents, retailers, tenants, and guests. As the sign plan is developed it will be included with site plans associated with individual phases of the project. Examples of the signage and monument locations are included in the landscape submission package.

Retail signage:

Sign structure or sign display area allowed: The aggregate area of the wall signs displayed on a premises shall not exceed 15% of the aggregate area of the walls where signs are to be located.

How displayed: The sign structure or sign display area may be displayed as one or divided among two or more wall signs.

Residential/Hospitality/Office Signage:

Sign structure or sign display area allowed: The aggregate area of the wall signs displayed on a premises shall not exceed 15% of the aggregate area of the walls where signs are to be located.

How displayed: The sign structure or sign display area may be displayed as one or divided among two or more wall signs.

Wayfinding and Internal Signage:

Monument and directional signs shall be placed strategically to allow pedestrians to easily identify and navigate the property. Each entrance to a building shall be allowed a directional sign if desired and deemed to be useful for pedestrians. See Master Signage Plan for heights and locations of signs.

Additional Limitations:

All signs must be compatible to the overarching theme and architecture of the project.

December 12, 2019

Adam Davis
Rockworth Companies
4655 South 2300 East, Suite 205
Holladay, UT 84117

**RE: Wasatch Rock Redevelopment
Site Sustainability List**

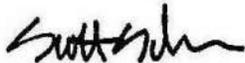
Adam,

Below is a list of items that we feel would be considered "sustainable" practices regarding the proposed site development at the Wasatch Rock Redevelopment project.

1. Water efficient landscaping
2. Maximize open space
3. Protect or restore native habitat
4. Access to public transportation
5. Connectivity between development parcels
6. Pedestrian and bicycle paths
7. Low-emitting and fuel-efficient vehicle parking
8. Storage and collection of recyclables
9. Use of regional materials where appropriate

This listing only includes items for the site and not the buildings. These items will need to be handled by the architect. If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,



Scott "Skip" Schoonover, PLA, ASLA
Principal Landscape Architect



In addition to the landscaping design above, the following are green build design recommendations that we will consider during construction of the project:

GREEN BUILD

Principles of Sustainability for this project are proposed to include:

1. Conserve energy short term and explore renewable energy sources long term
2. Facilitate reuse and recycling of natural resources and synthetic materials.
3. Design sites, structures and landscapes that are resource efficient and environmentally responsible over their entire life cycle.
4. Practice eco-friendly maintenance and clearing.
5. Optimize fuel efficiency of and minimize pollutants.
6. Use high efficient, low-toxin materials, supplies and equipment that are produced and transported responsibly.

This project is proposed to have an emphasis on sustainability, including:

1. Efficient site design with mixed-use component and density supporting sustainability principles.
2. Meeting or exceeding Energy Conservation Codes including the 2015 International Energy Conservation Code.
3. Implementing tight exterior envelopes and efficient mechanical systems with insulation, caulking and sealing methods meeting or exceeding HERS ratings of Energy Star compliance.
4. Installing full-cavity insulation at both walls and roof elements that exceed code minimums.
5. Installing high energy efficient appliances, mechanical HVAC equipment, water heaters, and electrical light fixtures, with each component having Energy Star compliance or better.
6. Installing low-water use plumbing fixtures exceeding code minimums.
7. Installing low-E high efficient double-pane window systems with tight 4-sided flashing at the exterior envelope.

Wasatch Rock

Design Theme and Architectural Standards

Wasatch Rock offers a variety of land uses including retail, office, hotel, for rent residential, for sale residential, and senior housing in a modern mountain village setting to meet the needs of the Cottonwood Heights community. The Modern Mountain architectural theme will be woven throughout the project knitting together a wide variety of building types, heights and massing to create a unified feel for the overall project. Architecturally, the Modern Mountain theme will incorporate both current and rustic design elements and materials such as wood beams, steel, metal panel, glass, stone, and concrete to ground the design while incorporating exposed structural and decorative concrete used strategically to pay homage to the former use of the site. Earth tone colors will be prevalent throughout the project to complement and blend into the mountain backdrop. The wide variety of building types, heights and massing will be unified by the Modern Mountain design theme creating Wasatch Rock, a new vibrant community within Cottonwood Heights.

Overall Village Inspiration Images



Office/Mixed-Use Inspiration Images



Hotel Inspiration Images



Retail Inspiration Images



Residential Condo/Apartment Inspiration Images



Senior Housing Inspiration Images

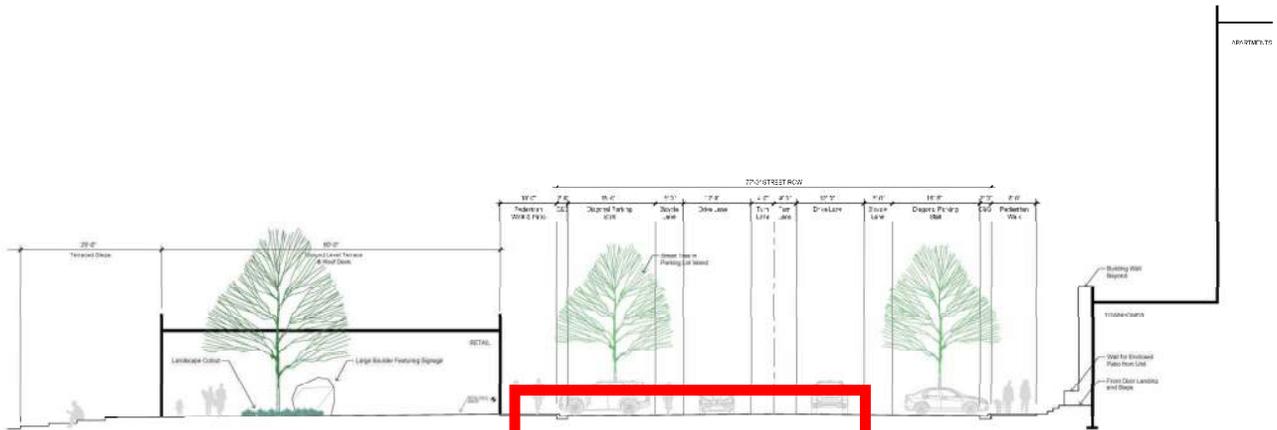


Parking Structure Screening Inspiration Images

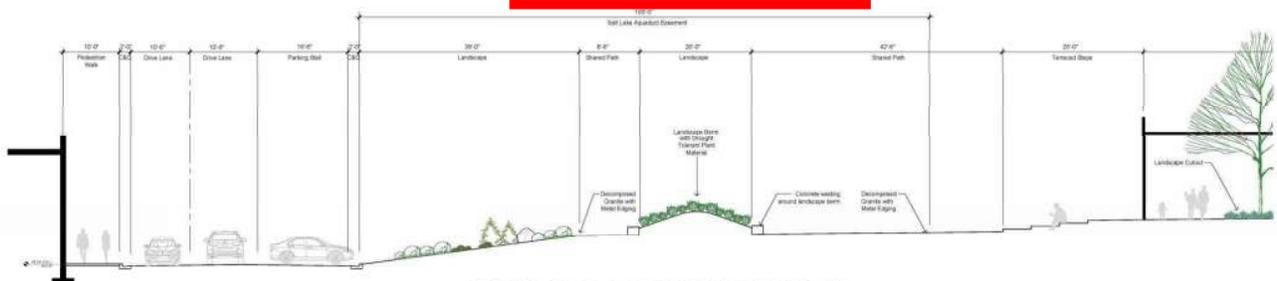








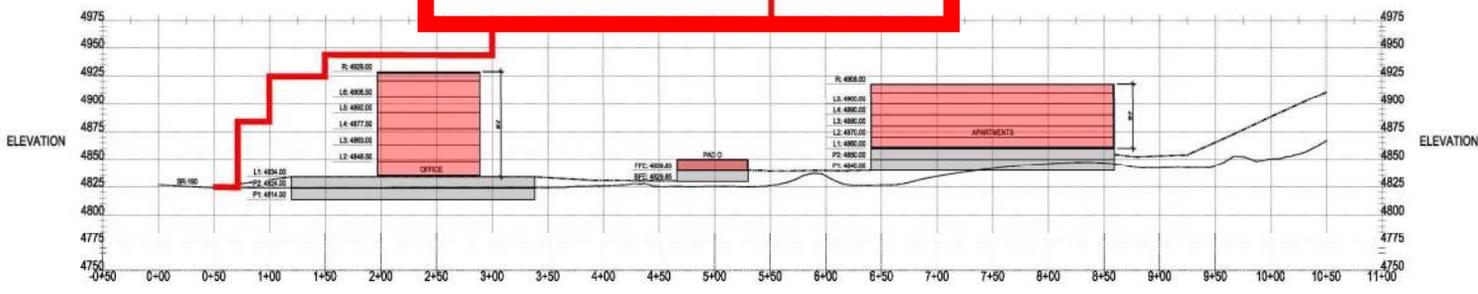
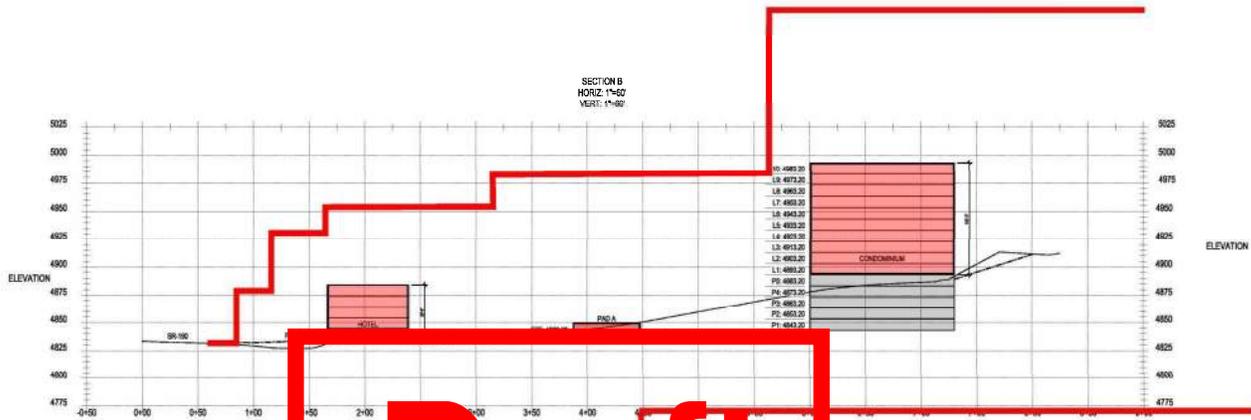
SECTION @ UPPER WASATCH DRIVE
 SCALE: 1/8" = 1'-0"
Draft



SECTION @ SALT LAKE AQUADUCT OPEN SPACE
 SCALE: 1/8" = 1'-0"

L10 - SITE SECTION
WASATCH ROCK REDEVELOPMENT
 Cottonwood Heights, Utah







ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

Trees and Park Strip Landscaping Ordinance

Meeting Date: May 26, 2020

Staff Contact: Matt Taylor, Senior Planner

(801) 944-7066, mtaylor@ch.utah.gov

Summary

PROJECT NAME: Trees and Park Strips Landscaping Ordinance. Project ZTA-20-001.
REQUEST: Zoning Ordinance Text Amendment
APPLICANT: Cottonwood Heights City
RECOMMENDATION: Provide Staff Input of Proposed Standards and Role of ARC.

Background

The City Council has requested that staff prepare a public tree ordinance. As most public trees are within park strips within the right-of-way, staff has also prepared city-wide regulations for the development and maintenance of park strips.

The ordinance received a positive recommendation from the Planning Commission on April 15. The presentation explaining the issues, requirements, and benefits of the proposed ordinance is attached as Appendix "A."

Included with this packet is a presentation on the general benefits of trees in cities (see Appendix "D").

Proposal

The current draft ordinance (appendix "B") has been prepared in a manner to achieve desired outcomes but also to provide a reasonable balance of options for how property owners and developers manage the trees and landscaping within park strips adjacent to their property. In summary, the ordinance proposes the following requirements:

- Establishes the goals for public tree management.
- Establishes a city contact for public tree issues.
- Clarifies and outlines responsibilities of private property owners and the city for the care of public trees and park strips abutting private property.
- Addresses potential hazards presented by trees on public and private property.
- Prohibits practices damaging to public trees and establishes a penalty for unauthorized removal of trees.
- Establishes standards for allowed materials – and ratio of those materials – within park strips.
- **Establishes a process for the city's Architectural Review Commission to review and require the preservation of existing vegetation in new development.**
- Amends various existing provision related to trees for consistency and clarity.
- Creates additional definitions to help manage the implementation of the ordinance.

Applicability

These regulations are proposed to apply as follows:

- To any future changes to trees and park strips within existing developed areas. Any situation made non-conforming by the adoption of this ordinance shall be permitted to remain until changes are made and then property owners will be allowed to make complete or incremental improvements to bring park strips into alignment with the standards at their own discretion and timeline.
- To any new development and redevelopment of property will be required to adhere to these standards.
- Staff will provide educational materials at city hall and on the city website to help educate individuals about the goals established by this ordinance and to encourage voluntary compliance with ordinance standards.
- Any property owner violating these provisions in the future may be subject to city enforcement.

Recommendation

Staff recommends that the ARC provide feedback on the standards and the role of the ARC as proposed in the proposed Trees and Park Strip Landscaping ordinance.

Appendices

- A. Presentation Summarizing Issues, Proposal, and Benefits of the Proposed Ordinance
- B. Draft Trees and Park Strip Landscaping Ordinance
- C. Allowed and Prohibited Trees in Park Strips List / Analysis
- D. Summary of Benefits of Trees Preservation and Enhancement

Purpose

- Establishes the city's goals regarding trees and public right-of-way landscaping.
- Defines the city's and the public's responsibilities.
- Provide procedures for abatement of private tree hazards.
- Establishes provisions for the protection of public trees and existing on-site trees when a development is proposed.
- Defines standards for park strip trees and park strip landscaping.

3

Urban Forestry Benefits

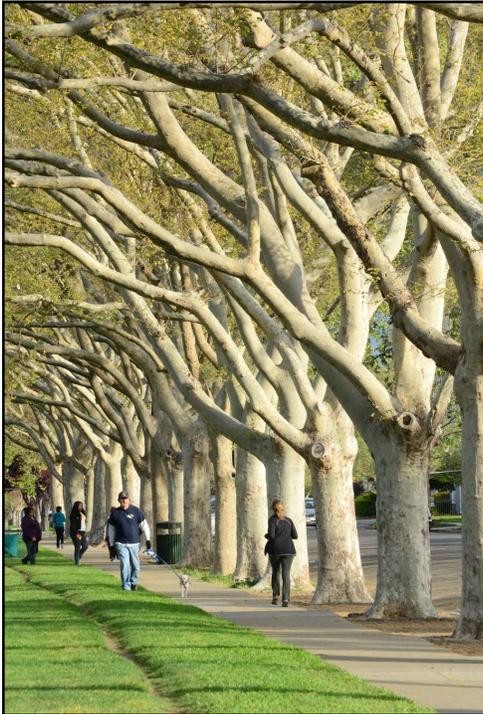
4

Property Values



- Trees have been shown to have a substantial effect on residential and commercial property values
- Property values can rise from 5-15% with mature street trees

5

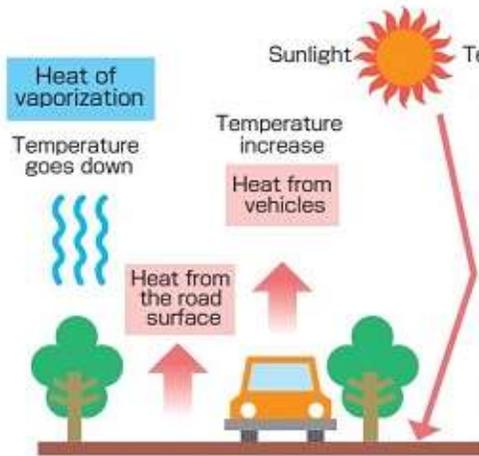


Beautification & Community Identity

- Street trees make a property and roadway more attractive
- Street trees can aid in fostering a distinct character for a city
- Trees are culturally important to many communities

6

● How the Heat Island Phenomenon occurs



Heat Management

- Street trees mitigate the Urban Heat Island Effect
- Air temperatures in suburban areas with mature street trees experience a reduction of air temperatures by 4-6 °F, while temperature reduction of buildings and street surfaces is around 20%
- Property owners save money on cooling costs
- Fewer heat related health problems
- Cooler streets attract pedestrians

7



Pedestrian Activity and Health

- In areas where there are more trees along roadways, there is on average greater pedestrian activity as well as cycling
- Pedestrians are attracted to tree lined streets because they are more attractive, shaded, and safe
- As more people walk and use active transportation, they develop healthier lifestyles, reducing health risks and the associated costs
- In commercial areas, this added pedestrian activity can create more business

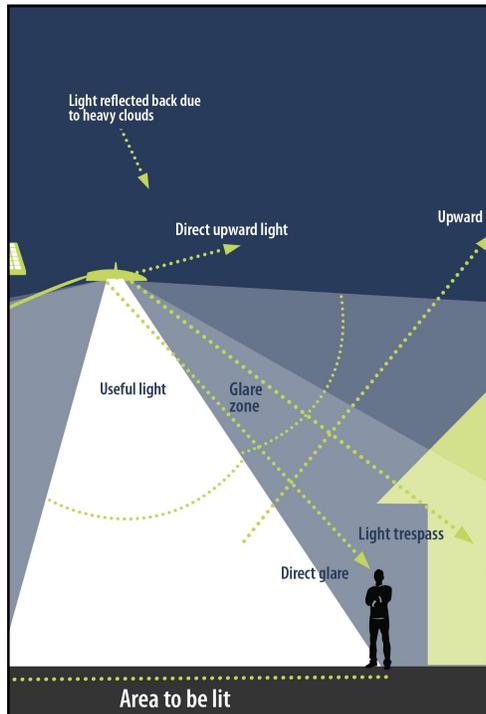
8



Roadway Longevity

- Shaded streets can have life spans from 40-60% longer than unshaded streets
- Trees lessen heat associated roadway expansion and contraction as temperatures fluctuate throughout the day
- This saves a great amount of money in road maintenance costs

9



Light and Noise Trespass

- Placing trees alongside roadways reduces light and noise trespass into homes and businesses
- Residents can experience difficulty with sleeping, and relaxation, which can have serious health effects

10



Driving Speeds



The presence of trees along roadways slows down traffic and makes roadways safer



Drivers are affected by the added visual complexity that trees provide alongside roadways and slow their speed



Trees create a physical barrier between pedestrians and vehicles, making sidewalks safer



Far less than 1% of U.S. annual vehicle crashes involve a tree on an urban street

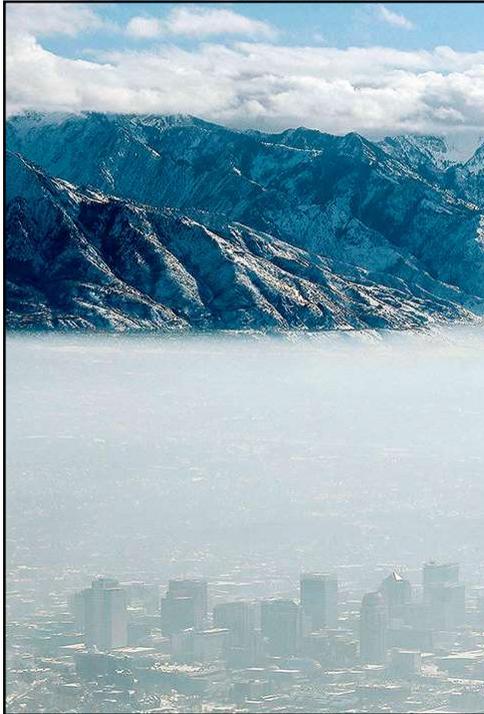
11



Water Quality

- Storm-Water Management
- Groundwater as well as surface water quality can be greatly improved by greater tree presence in our cities
- Trees near creeks, rivers, and lakes improve the health of aquatic ecosystems by providing nutrients to the microorganisms
- Additionally tree root systems provide an efficient means to cleaning groundwater

12



Air Quality

- Young trees absorb 13 pounds of CO₂ per year
- Mature trees absorb around 48 pounds of CO₂ per year
- At full maturity, trees produce on average nearly 260 pounds of oxygen each year or enough oxygen to sustain two human beings
- Additionally, trees reduce the greenhouse effect by shading homes and offices, saving money and energy

13

Planter Strip Management

14



15



16



17



18



19



20



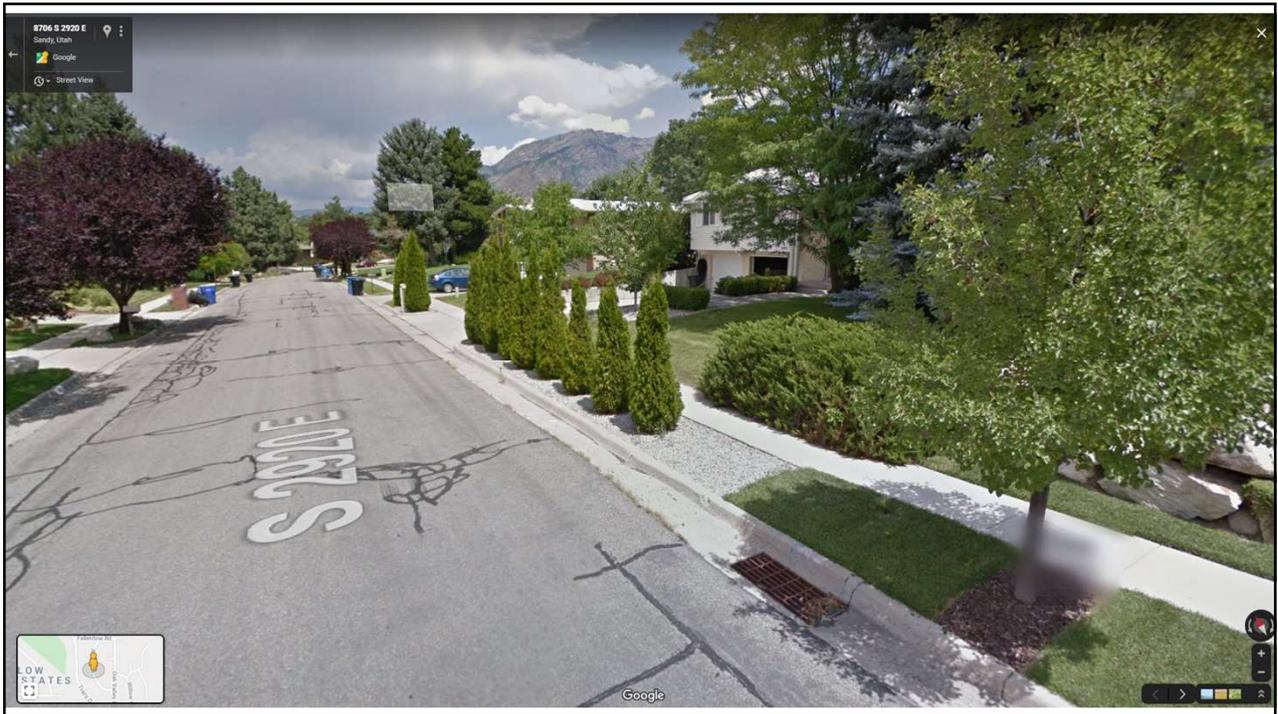
21



22



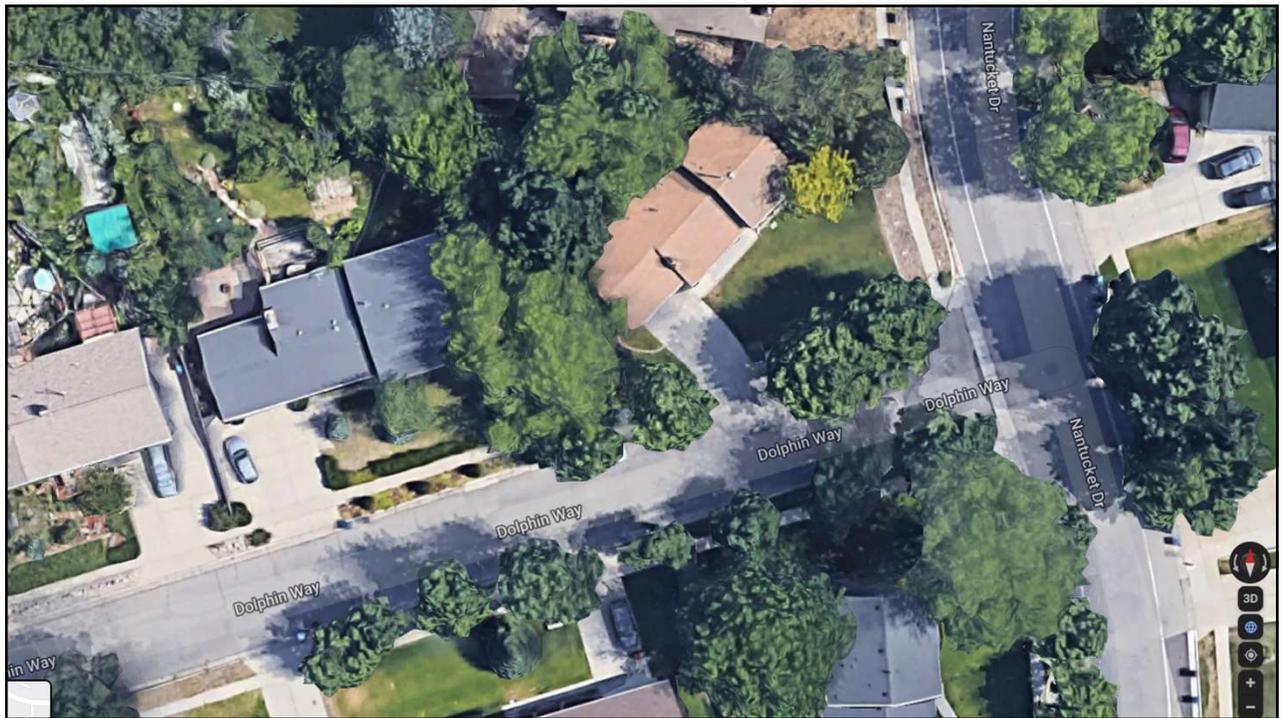
23



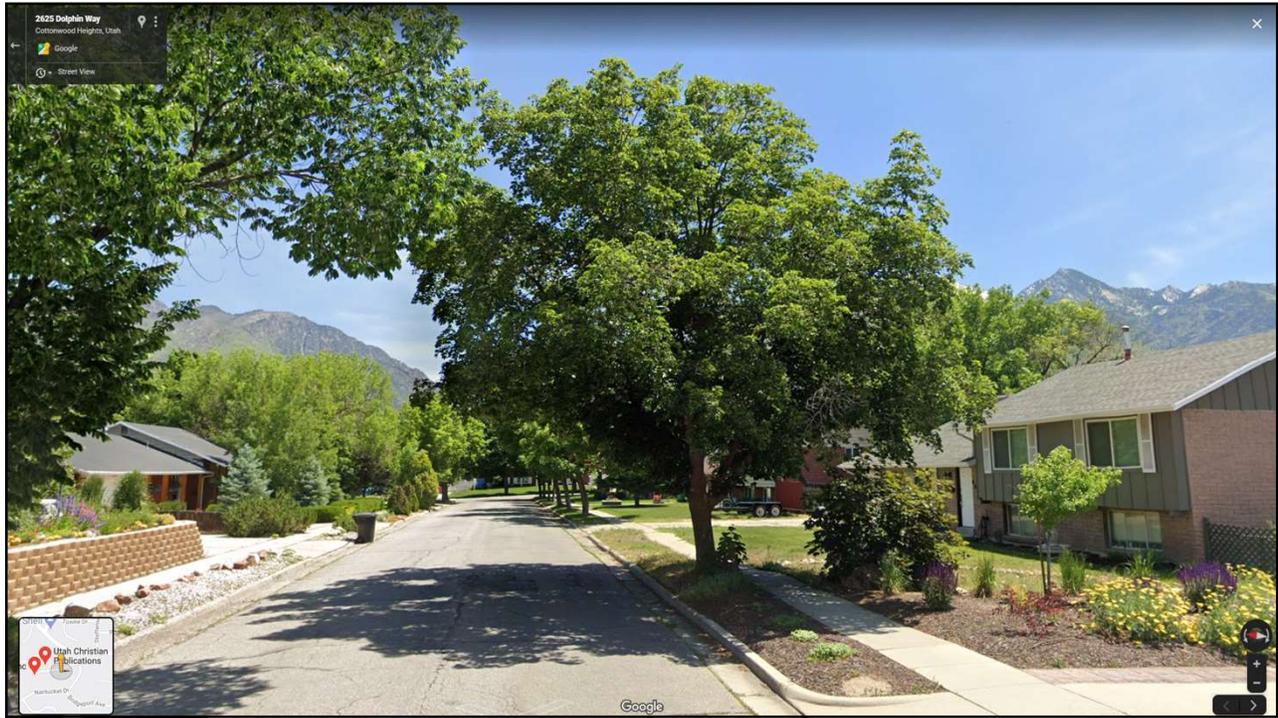
24



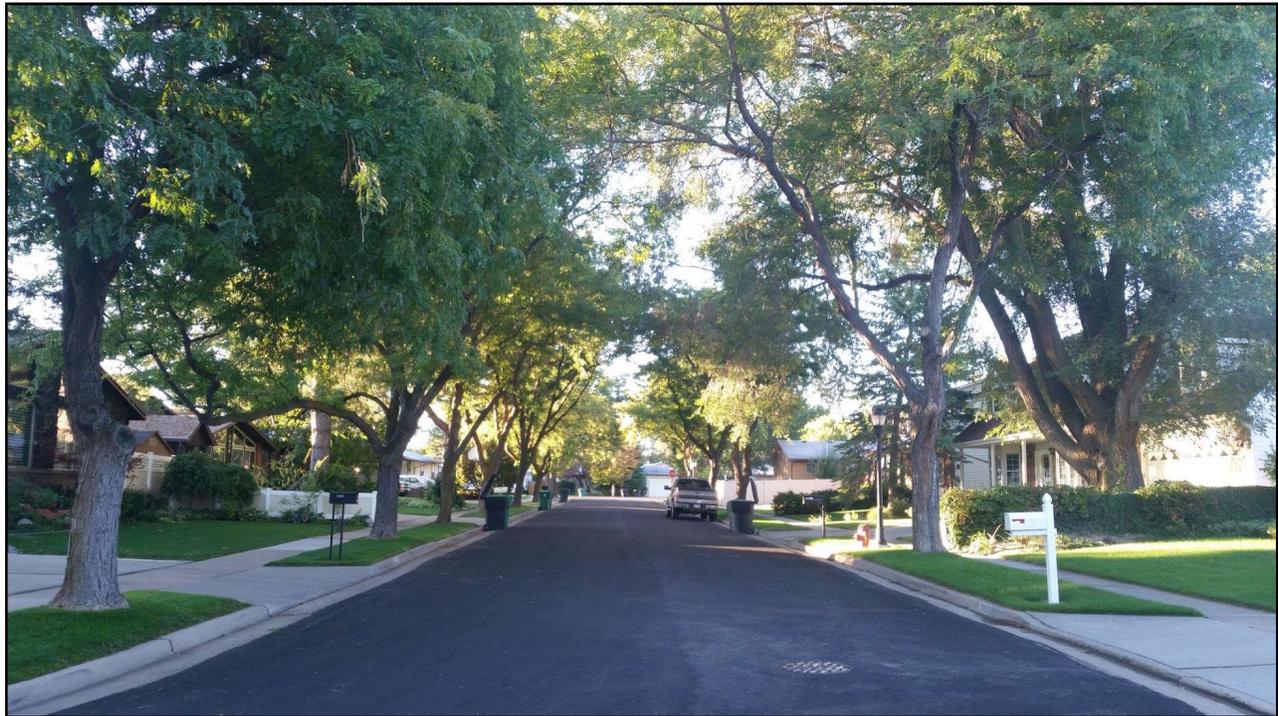
25



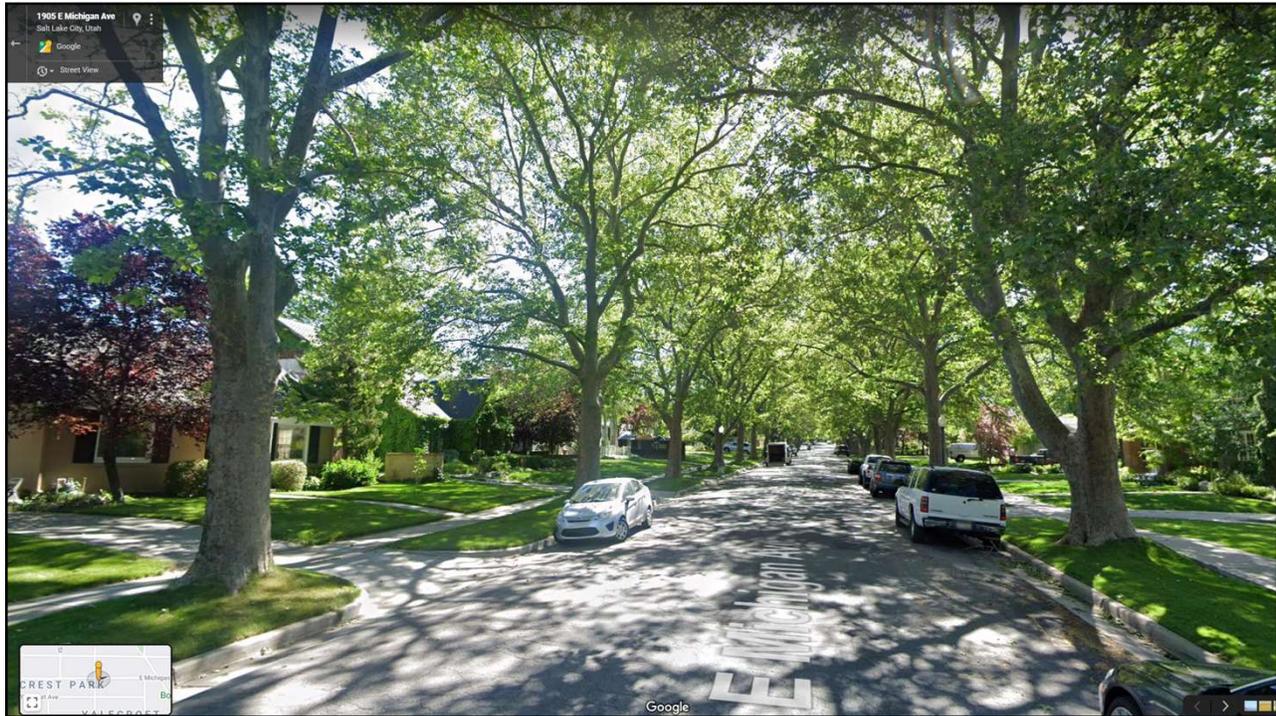
26



27



28



29

Desired Outcomes

- Preserve and increase tree coverage.
- Increase sustainability.
- Enhance environment, aesthetics, and character of the city.
- Encourage city-resident participation and partnerships.

30

Other Provisions

- Defines Ordinance Purpose
- Establishes City Forester Role
 - City designated point person on tree issues.
 - Not a new position – intended to be absorbed into Community Development work. Could evolve into a contract or position, if determined appropriate.
- Miscellaneous Provisions
 - Definitions
 - Cleanup/Consistency Issues

31

City's Responsibilities

- Care for trees within public parks and facilities.
- Pruning for snowplow removal clearance and sight-distance issues.
- Remove dead, diseased, or dangerous trees from the right-of-way.

32

Citizen's Responsibilities

- Park strips and trees within them are to be maintained and cared for under ordinance requirements.
- Follow tree protection standards.
- Remove hazardous trees on private property.
- Establishes provisions for the city to mitigate, abate, correct or remove hazardous trees.
- Outlines policies on the protection of public trees, including park strip trees.

33

Park Strip Tree Standards

- 25-feet apart minimum.
- 2-inch caliper minimum (width of tree trunk).
- 6-foot wide planting bed.
- Limited to city tree selection guide.
- Installed with irrigation.
- Bonding required for new developments.
- Park strip trees from approved list.

34

Park Strip Design Standards

(4+ feet wide).

- Landscaped
 - 50 – 100% may be developed as “softscape” landscaping.
 - Up to 50% may be developed as “permeable hardscape” landscaping.
 - “Impervious hardscape” is prohibited, except park strips at the rear of a double-frontage lot.
 - Trees every 25 feet.
 - Standards are exclusive of driveway approach aprons.

35

Park Strip Design Standards

(Less than 4 feet wide).

- Landscaped
 - 0 – 100% may be developed as “softscape” landscaping.
 - Up to 100% may be developed as “permeable hardscape” landscaping.
 - “Impervious hardscape” is prohibited, except park strips at the rear of a double-frontage lot or less than 2 feet wide.
 - Trees not required.

36

Site Plan Review Amendment

- Establishes requirements and guidelines for tree preservation as part of a site plan review (new and redevelopment).
- Empowers the Architectural Review Commission to review the appropriateness of trees identified for removal.
- Proposes a fee (amount TBD) for unauthorized development tree removal.

37



38



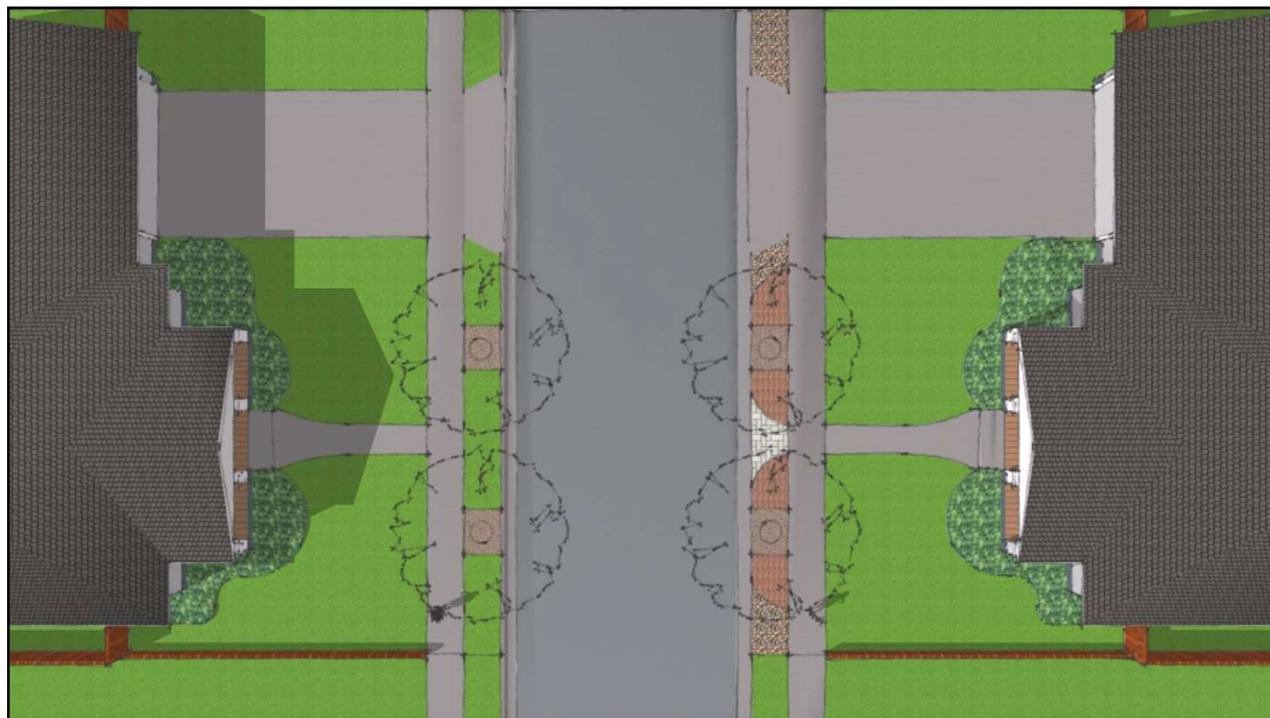
39



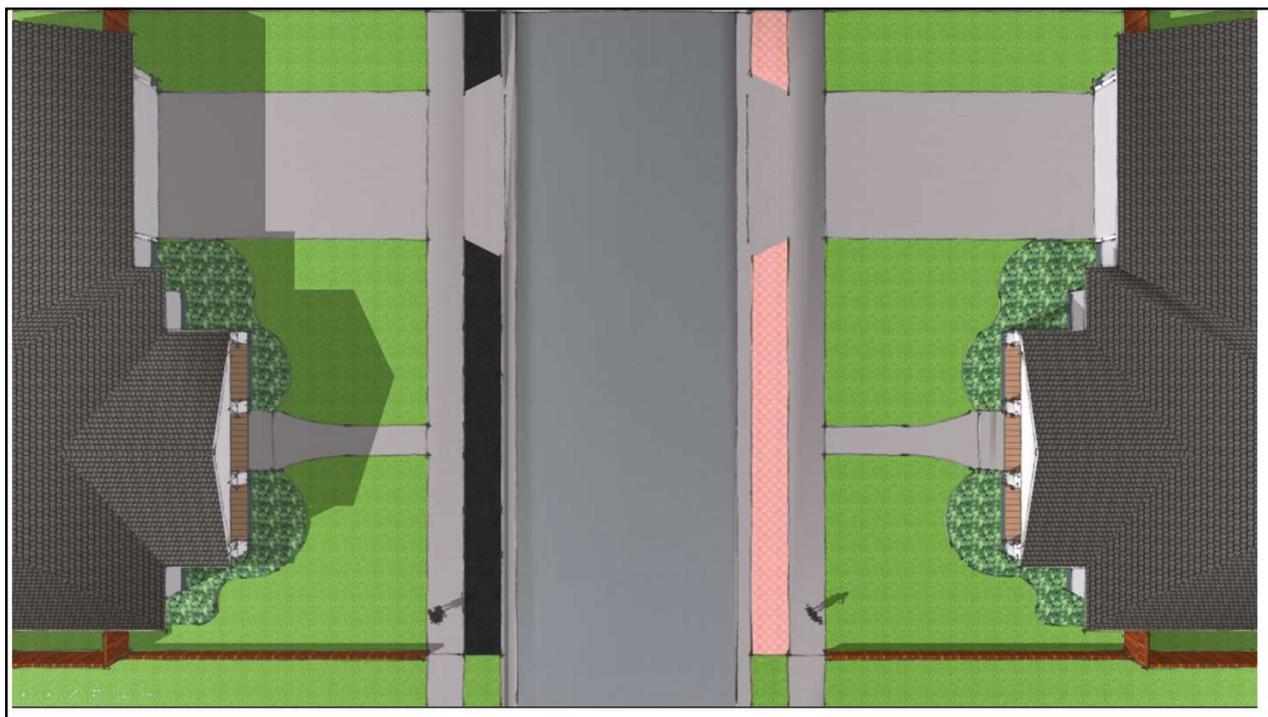
40



41



42



43



44



45



[Volunteer](#)
[Jobs](#)
[About](#)
[Blog](#)
[Contact](#)

[SUBSCRIBE](#)
[DONATE](#)

[Visit](#)

[Find Plants](#)

[Events & Classes](#)

[Landscaping Help](#)

[Rent Facility](#)

Ready Made Plans



Coming up with the right plan can be the ultimate challenge. We've taken the guesswork out of it for you with our ready-made plans. These plans are adaptable to any size or shape lot. Not ready for a full landscape makeover? Download one of our easy park strip designs and start there.



All Season Color.pdf



Attracting Wildlife.pdf



Entertaining & Hardscape.pdf



Harvest.pdf

46

23

Localscapes®
Landscape for where you live.

Utah Park Strip Design Plan

Lush with Less
High Density Perennial Design
Localscapes.com

30'
4'
3'
Path

Brakelights Red Yucca
Sonoran Sunset Hummingbird Mint
Moonshine Yarrow
Sundancer Daisy
Blaze Little Bluestem
Walkers Low Catmint

47

Localscapes®
Landscape for where you live.

Utah Park Strip Design Plan

Mature Makeover
High Density Shade Perennial Design
Localscapes.com

Existing Tree
30'
4'
3'
Path
Existing Tree

Blue Plumbago
Hardy Geranium
Rocky Mountain Columbine

48



49

Tree List

- Consulted urban forester suggestions in Salt Lake City and Provo City.
- Consulted South Jordan standards that resulted from USU grad thesis work.
- Developed hybrid list from those three sources.
- Allows for approximately 100 trees identified as suitable for Wasatch Front environment and within different park strip sizes.
- Prohibits a short list of known problem trees.

50

Cottonwood Heights City
Trees and Park Strip Landscaping Ordinance

Chapter 14.04 - DEFINITIONS

....

14.04.040 Curblineline.

“Curblineline” means a line on either side of the center of a highway ten feet inside the right-of-way line and running parallel to the right-of-way line. Any individual exceptions to this definition must be approved by the city.

14.04.050 Department.

“Department” means the city’s ~~community development~~ public works department or other designee of the city.

14.04.060 Fenceline.

“Fenceline” means a line on either side of the center of a highway coterminous with the outside boundary or limits of the highway.

...

14.04.062 Hazardous Tree.

“Hazardous Tree” means a dead or dying tree, dead parts of a live tree, or an unstable live tree (due to structural defects or other factors). Hazardous trees have the potential to cause property damage, personal injury, or fatality in the event of a failure.

...

14.04.065 Landscaping

“Landscaping” means any activity that modifies the visible features of an area of land outside any structure, including the following definitions:

“Landscaping, impervious hardscape” means, concrete, stamped-concrete, and pavers systems with less than one-eighth inch (1/8”) minimum joint spacing. Asphalt is prohibited as an impervious hardscape landscaping material.

“Landscaping, permeable hardscape” means natural or crushed rock and stone, flagstone, organic and/or inorganic mulch, and permeable paver systems with one eighth inch (1/8”) minimum joint spacing that allow water to penetrate into the soil.

“Landscaping, softscape” means intentionally planted living plants such as trees, shrubs, vines, ground covers, flowers, turf, or ornamental grass at three-year maturity.

DRAFT – For Discussion Purposes Only – DRAFT

“Landscaping, water efficient” means landscaping that uses a combination of tactics to provide landscaping in a way that reduces typical water usage including, but not limited to, grouping plants according to their water needs, utilizing native plants, limiting turf areas to those needed for practical uses, adding permeable hardscape landscaping that compliments vegetative softscape landscaping, uses efficient irrigation, ensures that the soil that is supporting plants is healthy, utilizes mulch, and receives regular maintenance.

....

14.04.090 Maintenance.

“Maintenance” means the performance of all things necessary to keep a public highway, sidewalk, or park strip in serviceable condition.

....

14.04.105 Park Strip

“Park strip” means a landscaped area between the curblines and the sidewalk, or fenceline in a case where no sidewalk exists, in any public or private right-of-way.

....

14.04.150 Sidewalk.

“Sidewalk” means ~~that area~~ a concrete walkway between the ~~curblines~~ park strip and the fenceline, or curblines in a case where no park strips exist, on either side of a highway.

14.04.158 Tree.

“Tree” means any perennial self-supporting woody plant that grows at maturity to an overall height of a minimum of 10 feet, has a single trunk or multiple trunks which are four inches in diameter.

“Tree, public” means any tree within a public right-of-way, a private right-of-way, or on public property.

14.04.160 Tree Planting Line.

“Tree Planting Line” means a line equidistant between the sidewalk and curblines.

14.04.170 Weed.

“Weed” means a plant growing on a property that was not intentionally planted and is not native to the local environment as opposed to native and intentionally planted and cultivated plants.

Chapter 14.44 - SHADE TREES AND PARK STRIP LANDSCAPING

Sections:

- 14.44.010 Care of trees.
- 14.44.020 ~~Planting line.~~ Park strip design standards
- 14.44.030 ~~Condemnation and removal of trees.~~ Park strip tree standards.
- 14.44.040 Condemnation and removal of trees.

14.44.010 Care of trees.

~~— In all cases the abutting property owner who receives the beneficial use of and benefit from trees is to care for and water the same. Failure to care for trees may constitute a nuisance.~~

- A. **Purpose:** The city prides itself on its many areas of public and private landscapes, both natural and enhanced, and recognizes the importance of trees within the community. The purpose of this ordinance is to promote the general welfare of the City by establishing and maintaining the maximum possible amount of canopy coverage provided by trees in order to improve air quality, improve water quality, reduce urban heat island effects, increase conservation of energy, decrease consumption of water resources, increase biodiversity and habitat, reduce light and noise trespass, decrease driving speed, increase roadway longevity, and decrease impact on city storm drainage.
- B. **City forester:** The Community and Economic Development Director shall designate an employee, qualified contract employee or entity, as the city's forester, who shall:
 - 1. Be responsible for the long-term management, inventory, planting, and design of public trees under city control in cooperation with the Director.
 - 2. Maintain partnerships between public and private parties for the benefit of trees.
 - 3. Coordinate with the Public Works Department in the training of city crews or contract providers to ensure the best methods of tree care are practiced in the community.
 - 4. Work with engineers, architects, and the Community Development Department during the design phase of development.
 - 5. Inspect trees installed as part of new development, or redevelopment, to ensure they meet city requirements.
 - 6. When requested, assist the Police Department, Public Works, and City Administration to determine if hazardous trees are present on public or private property and coordinate city measures to abate hazards.
 - 7. Pursue funding opportunities that allow for the maintenance of existing trees or the addition of new trees.

If the Director appoints a city employee to fulfill the role of city forester, the Director may also enter into a limited contract with a qualified contract employee, or entity, to execute duties that city staff is unable or unqualified to perform.

DRAFT – For Discussion Purposes Only – DRAFT

- C. **City responsibilities:** The city shall assume responsibility for:
1. Tree care in city owned and operated parks, on the grounds of city buildings and properties, and in park strips that the city administration has determined will be maintained by the city.
 2. Pruning of trees in the public right-of-way and public utility easements when necessary for proper operation of city services or utilities.
 3. Removal of diseased or dying trees and/or limbs in the public-right-of-way or city owned and operated parks that are beyond reclamation that the city forester determines to be a hazard.
- D. **Responsibility for correcting hazardous trees on private property:** Where a hazardous tree exists upon private property, the property owner and all other persons having control of the property on which such hazardous tree exists shall be responsible to mitigate, abate, remove, or correct the hazard. Any tree that is a hazardous tree is a public nuisance.
1. It is unlawful for any person, firm, or corporation, either as owner, agent, or occupant, to create, aid in creating, or maintain a hazardous tree.
 2. If the city determines that a particular tree is a hazardous tree on any lot, building, or premise, the city may give a written notice to the owner, occupant, or agent of that property to remove or correct the hazardous tree.
 - a. If a hazardous tree is not removed or corrected within thirty days after the notice is complete, the city may mitigate, abate, correct, or remove the hazardous tree, and charge associated correction and legal costs to the person(s) or entity that owns the property on which the hazardous tree exists.
 - b. If the person(s) or entity denies the city's determination that the tree is a hazardous tree or refuses to remove or permit removal, the city may bring an action to abate the hazardous tree as a public nuisance as outlined in Chapter 9.05 Cottonwood Heights City Code.
 - c. A notice to remove a hazardous tree may be appealed per the provisions of Section 9.05.110 Cottonwood Heights City Code.
 3. The city, its agents, or employees, if acting in good faith, incur no liability for causing removal of a hazardous tree.
- E. **Protection of public trees:**
1. The following actions by any person, firm, or corporation are prohibited and unlawful toward any public tree within a public right-of-way, or upon public property, without authorization from the public agency by which it is owned:
 - a. Construction of any impervious or pervious landscaping, concrete, or asphalt within three feet (3') of a public tree trunk.
 - b. Fill the ground area around any public tree so as to shut off air or water from a tree's roots.
 - c. Piling of material or equipment on or within three feet of a tree.

DRAFT – For Discussion Purposes Only – DRAFT

- d. Fastening any sign, guywire, cable, or rope to any tree, with the exception of tree straps intended to stabilize a tree.
 - e. Pouring or spraying injurious matter on or around a tree.
 - f. Posting any sign, tree stake, or guard in a manner that injures a tree or its root system.
 - g. Damaging any part of a tree (roots, crown, trunk) as to cause injury or death.
2. Any person performing construction, excavation, or demolition work within fifteen feet of a public tree shall protect the tree from injury or damage with a substantial protective barrier. The barrier shall not be less than four feet high and have a three-foot radius around the tree or to a distance in feet from the tree equal to the diameter of the tree trunk in inches measured four feet above ground, whichever is greater. All building materials, extra dirt, or other debris shall be kept outside the barrier. The city forester must be consulted regarding any deviation to this standard.
 3. No person shall use a public tree for any unauthorized purpose.
- F. Trees planted in park strips: See Section 14.44.030.
- G. **Violation and penalty:** Any person who violates any provision of this chapter shall be guilty of a class C misdemeanor. If the violation of any provision of this chapter causes the injury, mutilation, or death of a public tree, the violating party shall pay the cost of repair or replacement of such tree. The replacement value of public trees shall be determined in accordance with the latest edition of the "Guide For Plant Appraisal" as published by the International Society Of Arboriculture. The city may pursue criminal or civil actions against any person or entity who violates this chapter as is deemed appropriate, including abatement or injunctive relief.

~~14.44.020 Planting line.~~

~~—The line on which the trees are to be centered within a city highway right of way shall be determined by the department.~~

14.44.020 Park Strip Design Standards

A. General provisions: As required by Section 14.12.060, newly constructed park strips shall be a minimum of five-feet in width between the sidewalk and the curblin.

1. **Landscaping standards:** All park strip shall be landscaped as outlined in sections (B) and (C). Additionally:
 - a. With the exception of trees, landscaping in park strips shall not exceed three feet in height. Vegetation may not extend horizontally beyond the planter strip.
 - b. Water-efficient landscaping is highly encouraged in all situations. Organic mulch materials may be used as a water conservation measure for vegetation but shall not be used exclusively as a landscaping material.

DRAFT – For Discussion Purposes Only – DRAFT

- i. Wasting water in park strips by significantly over-watering or over-spraying landscaped areas, or by creating excess runoff, is highly discouraged.
 - c. Prohibited materials include impervious hardscape landscaping, asphalt, thorn-bearing vegetation, and other vegetation and materials determined to be a nuisance by the Community and Economic Development Director.
 - d. Trash, debris, and weeds are prohibited within park strips.
 - e. Owners of property adjacent to a right-of-way without curb and gutter are not required to maintain landscaping within the public right-of-way.
2. **Timing of required park strip improvements:** Park strips shall be developed or restored to the park strip landscaping design standards outlined in this chapter whenever new development or redevelopment of a property occurs. Redevelopment is defined to occur when a property has a new primary structure constructed that accommodates an approved principal zoning use.
 - a. Existing park strips less than five-feet in width do not require upgrading to five-feet until the adjacent property develops or redevelops and only if the Public Works Department anticipates a minimum five-foot park strip will be required for the right-of-way in the future.
 - b. Required landscaping in park strips shall be installed or upgraded per the standards of this chapter within two-years of the issuance of building permits for any new structures that constitute a primary zoning use for the site.
 - c. Before any digging or excavation exceeding a depth of one-foot is performed in any park strip, Blue Stakes of Utah shall inspect the property and identify the location of utility lines. All persons conducting work in a park strip shall follow any instructions provided by Blue Stakes of Utah.

B. Landscaping for park strips four-feet or greater in width:

1. One-hundred percent of the park strip may be developed in softscape landscaping and water-efficient landscaping is highly encouraged.
2. No more than fifty percent of the park strip shall be developed in permeable hardscape landscaping. Permeable hardscape sections shall be no more than ten feet (10') in length and shall alternate with softscape landscaped sections.

C. Park strips less than four feet in width:

1. One-hundred percent of the park strip may be developed in softscape landscaping, although water-efficient landscaping and permeable hardscape landscaping is highly encouraged.
2. With the exception of areas reserved for trees and tree buffers, up to one-hundred percent of the park strip area may be developed in permeable hardscape landscaping.

DRAFT – For Discussion Purposes Only – DRAFT

D. Double Frontage Lots: With the exception of the required planting bed of three feet on either side of the tree trunk, any park strip adjacent to the rear property line may be landscaped with a stamped concrete as selected by the City. The Public Works department shall select a uniform standard for city-wide implementation for double frontage lots. Irrigation is required for any tree within the double frontage planter strip.

14.44.030 Park Strip Tree Standards.

A. Private property owner responsibilities: Property owners, and their occupants and agents, shall have the following responsibilities for the protection of trees in park strips abutting their real property:

1. Appropriate watering and fertilization to maintain good health of public trees in park strips.
2. Trees and landscaping which overhang the street pavement shall be trimmed to a minimum height of thirteen and one-half feet above the street pavement.
3. The species of trees planted in the park strips shall comply with the city street tree guide or otherwise approved by the city forester.
4. Removal of limbs that have fallen upon a city street, property, or sidewalk and notification of the city of any hazardous tree.
5. Raking, cleanup, and properly disposing of debris leaves so leaf fall does not impede the stormwater system.
6. The city shall have no liability for the failure of any tree or landscaping installed by private parties other than city-maintained property.

B. Park strips four-feet or greater in width: Park strips four feet or greater in width shall be planted with trees.

1. Trees shall be:
 - a. spaced not more than twenty-five feet apart exclusive of driveway approaches;
 - b. planted along the tree planting line;
 - c. have a minimum caliper size of two-inch or twenty-gallon root ball container;
 - d. have a planting bed of three feet on either side of the tree trunk. The tree planting bed shall entirely exclude any hardscape, and shall be primarily covered with bark or mulch;
 - e. selected from the city tree selection guide maintained by the city forester and shall be appropriate to their location and the park strip width; and
 - f. shall be installed with proper irrigation and an eighteen inch deep by six foot long root barrier on the sidewalk side of the park strip.

C. Park strips less than four-feet (4') in width: Park strips with four-feet or less between the back of curb and the front of sidewalk shall only include trees as identified on the city approved tree list as being suitable for spaces less than four-feet. Existing trees may remain, but if the

DRAFT – For Discussion Purposes Only – DRAFT

tree root system is in danger of damaging the adjacent sidewalk through cracking or uplift, then the tree is highly encouraged to be removed.

1. Property owners next to this situation are highly encouraged to plant large trees four feet back from the sidewalk in the front yard as a substitute for trees planted in the park strip.
2. Existing trees identified on [aerial image dataset] dated [date] are legal nonconforming. Any non-permitted tree determined to be planted after [insert adoption day] shall be removed at the expense of the adjacent property owner.

D. Bonding: Required trees shall be bonded for prior to the issuance of a building permit or final site plan approval.

~~14.44.030~~ **14.44.040** Condemnation and removal of trees.

The Community and Economic Development Department department, upon giving proper notice to abutting property owner, shall have the authority to condemn and remove, or order the removal by the abutting property owner of, any tree or tree stump upon any city roads, avenues, or ways where the tree, tree stump, shrub or vine is dead, diseased or for any other reason undesirable. The department shall have authority to trim or prune any road tree or remove any tree that is in violation of any city ordinance, without serving notice upon the abutting property owner.

Chapter 19.87 - SITE PLAN REVIEW PROCESS

19.87.040 ARC Architectural Review Commission (ARC) requirements.

A. **Gateway design guidelines.** All developments within the gateway overlay zones, or those areas and developments which are specifically listed as being subject to the gateway design guidelines, shall adhere to the requirements of the gateway design guidelines and standards.

B. **Mechanical equipment.** All mechanical equipment shall be located or screened (and/or other measures taken) so as not to be visible from any public or private street. Screens shall be aesthetically incorporated into the design of the building, whether located on the ground or roof. Rooftops of buildings shall be free of any mechanical equipment unless completely screened. Screening materials shall conform to the color scheme of the primary building. Measures taken to shield mechanical equipment from view, other than screening, must be approved by the planning commission.

C. **Trash enclosures, storage areas, and external structures.** Landscaping, fencing, berms or other devices integral to overall site and building design shall screen trash enclosures, storage areas, and other external structures. Trash and storage areas shall be compatible with the proposed or existing building and surrounding structures. These areas shall be well-maintained and oriented away from public view. The consolidation of trash areas between businesses and the use of modern disposal and recycling techniques are encouraged. Chain-link fences and fencing with vinyl slats are prohibited. Acceptable gates will be painted metal.

D. **Exterior materials.** The city’s architecture review commission (“ARC”) shall ensure that all buildings are aesthetically pleasing and conform to an overall master design theme or plan for the project or overlay area of the city. Building elevations shall be submitted that indicate all colors, styles, materials, and other proposed building treatments.

E. **Landscape guidelines.** All site plans shall conform to the city’s landscaping guidelines.

F. **Saving existing vegetation:** Developments shall be designed to incorporate existing trees, clusters of trees or clusters of significant vegetation unless the city forester finds (or a certified arborist in the absence of a finding from the city forester) that such preservation is unwise.

1. The ARC or its designee shall review the appropriateness of removal of such vegetation if proposed in a development plan.
2. The ARC may approve removal of some or all existing vegetation based on a determination of the benefits of such vegetation and the efforts made to save and incorporate the vegetation into the design of a development versus the problems such vegetation may create for the development such as general construction techniques, the impact removal may have on the character of the area, the topography of the site and harmful conditions the vegetation may create.
3. If existing trees, clusters of trees or existing vegetation deemed beneficial to the property are removed without city authorization prior to approval of a development, then the ARC may impose a fee as shown on the Consolidated Fee Schedule adopted by the Municipal Council.
4. Trees and other vegetation to be saved shall be clearly marked to ensure protection against removal or damage. Snow fencing or other acceptable barriers shall be used to protect existing vegetation designated to be saved. The Community and Economic Development shall approve the location of such barriers.

~~F.~~ **G. Building lighting.** Plans for exterior building lighting shall be approved as part of the site plan approval. Building lighting shall be shielded and full cut-off so that the light source does not penetrate beyond the property where the structure is located. To prevent light pollution, to the greatest extent possible lighting shall not project above or beyond the property line.

~~G.~~ **H. Parking lot and street lighting.** All parking lot light fixtures shall be installed to prevent light glare from adversely affecting adjacent properties. Lighting of all pedestrian pathways is required.

1. Lighting will be judged as to how adequately it meets its intended purpose. Design and location of standards and fixtures shall be specified on the site development drawings.
2. Intensities shall be controlled so that glare or excessive direct light will not adversely affect neighboring areas. All streetlights and interior parking lot lights shall meet the City’s lighting design standards.

Chapter 12.04 - DEFINITIONS

....

12.04.335 Park Strip

DRAFT – For Discussion Purposes Only – DRAFT

“Park strip” means a landscaped area between the curblines and the sidewalk, or fenceline in a case where no sidewalk exists, in any public or private rights-of-way.

....

Chapter 12.24 - REQUIRED IMPROVEMENTS

12.24.070 Curbs, gutters, sidewalks and park strips.

- A. Curbs and gutters on all streets shall be concrete of the standard high back-type unit, not less than 30 inches, inches in overall width, and not less than six inches thick where the curb abuts the street pavement. Low back curb may be installed in cul-de-sacs and wherever approved by the city engineer.
- B. All curb corners shall have a radius of not less than 25 feet.
- C. The subdivider shall install curbs, gutters and sidewalks on existing and proposed streets in all subdivisions.
- D. The subdivider ~~may~~ **shall** be required ~~by the city~~ to install a park strip per Section 14.12.060 and property owners shall provide landscaping per Chapter 14.44. ~~in the area between the curb and sidewalks. The type and amount of landscaping required shall be at the discretion of the community and economic development director and may vary within the development.~~
- E. Waterways shall meet APWA standards.
- F. ~~The plants and other landscaping material that best serve the intended functions shall be used. Landscaping material shall be appropriate for local environment, soil conditions and availability of water.~~

Chapter 14.12 - STANDARDS FOR ROADWAYS, SIDEWALKS AND OTHER INFRASTRUCTURE

14.12.040 Clear view of intersecting streets.

- A. Corner sight distance for local streets as defined in the AASHTO guidelines shall be a minimum of 300 feet. All other locations shall be provided with sight distance in accordance with AASHTO guidelines.
- B. No constructed or planted obstruction to view, in excess of two feet in height above the level of the adjacent street pavement (measured at the edge of the pavement) shall be allowed within the clear view of intersecting streets. Exception to this are signs that conform to the applicable zoning code; a reasonable number of trees pruned to ~~ten feet~~ thirteen and one-half feet above the street pavement; and pumps at gasoline service stations. In the event the provisions of this subsection conflict with zoning codes, the most restrictive shall apply.
- C. Landscaping material or other obstructions which infringes the clear view of intersecting streets that creates a safety hazard, after 20 days' notice to property owner by certified mail has been given, may be trimmed or removed by city employees or by any other person or entity designated by the city.
- D. The city shall be entitled to reimbursement of the costs incurred by it in trimming or removing landscaping or obstructions under this section, and may seek such reimbursement by

sending an itemized invoice by certified mail to the property owner at its last known address. If the property owner fails to pay such costs to the city within 20 days after the date of mailing such invoice, the city may cause suit to be brought in an appropriate court of law seeking such payment, interest thereto at the statutory rate, and the city's attorney's fees and costs of suit.

14.12.050 Landscaping overhanging street pavement.

Trees and landscaping which overhang the street pavement shall be trimmed to a minimum height of thirteen and one-half feet above the street pavement. Trees and landscaping which violate the requirements of this section may be trimmed or removed by city employees or by any other person or entity designated by the city after 20 days' notice by certified mail to the property owner has been given. The city shall be entitled to reimbursement of the costs incurred by it in trimming trees and landscaping under this section, and may seek such reimbursement by sending an itemized invoice by certified mail to the property owner at its last known address. If the property owner fails to pay such costs to the city within 20 days after the date of mailing such invoice, the city may cause suit to be brought in an appropriate court of law seeking such payment, interest thereon at the statutory rate, and the city's attorney's fees and costs of suit.

14.12.060 Sidewalks and Park Strips.

A. Sidewalks shall be located as far as practical from travel lanes. As the minimum standard, concrete sidewalks shall be ~~four~~ five-feet in width with a five foot ~~utility~~ park strip between the ~~roadway~~ edge of sidewalk and back of curb.

B. A five-foot sidewalk will be allowed integral with the back of curb where exceptional topographic conditions exist or where specifically approved by the city. Where integral sidewalk is permitted, the right-of-way may be reduced accordingly.

~~C. When properties are adjacent, but do not access or front on public right of way, a stamped brick pavement in the utility strip or other suitable approved finishing material shall be required to reduce maintenance in these areas unless an exception is granted by the city.~~

~~D.~~ C. In developments which have a minimum lot area of one acre, aesthetic alternatives may be approved in lieu of standard concrete, except areas along collectors and arterials. The department or its designee shall review and approve all design and geometric standards for such requests.

~~E.~~ D. Sidewalks shall remain unobstructed from vegetation and other obstructions to a minimum height of seven feet. Landscaping or other obstructions which violate the requirements of this section may be trimmed or removed by city employees or by any other person or entity designated by the city after 20 days' notice by certified mail to the property owner has been given. The city shall be entitled to reimbursement of the costs incurred by it in trimming or removing landscaping or obstructions under this section, and may seek such reimbursement by sending an itemized invoice by certified mail to the property owner at its last known address. If the property owner fails to pay such costs to the city within 20 days after the date of mailing such invoice, the city may cause suit to be brought in an appropriate court of

law seeking such payment, interest thereon at the statutory rate, and the city’s attorney’s fees and costs of suit.

14.12.070 Horizontal clearance to obstructions.

On all streets a minimum clearance of 24 inches shall be provided between the curb face or shoulder edge and obstructions such as utility poles, fire hydrants, trees, landscaping exceeding three feet in height, etc., except standard mailboxes approved by the U.S. Postal Service.

.....

Consolidated Fee Schedule

...

UNAUTHORIZED REMOVAL OF A TREE FEE\$XXX

Cottonwood Heights Approved Park Strip Tree List

Any tree on this list recommended for park strips above 6' in any jurisdiction require evaluation and a permit from the City Forester prior to planting. Trees not on this list may be planted after consultation with the City Forester and if a permit is granted.

Common Name	Botanical Name	Common Cultivars	SLC Park Strip Size	SJ Park Strip Size	Provo Park Strip Size	Lehi City Strip Size	Mature Height	Canopy Spread	Shape	Flowers	Fruit	Fall Color	Additional Notes
* = Salt Lake City Proven Performers													
American Smoke Tree *	Cotinus obovatus		3-5 feet				20-30'	20-30'	irregular oval	yellowish green	small, sparse unnoticeable	yellow, red, orange, purple	produces some of the best fall color of any of the native American trees
Amur Corktree *	Phellodendron amurense	Macho, Eye Stopper, His Majesty	5-8' feet				30-45'	30-60'	rounded broad spreading	non showy yellow-green	pea sized black	yellow	once established very tolerant to urban conditions
baldcyprus	Taxodium distichum			5'	6'	6'							
Beech, American	Fagus grandifolia				10'	10'							
Beech, Tricolor	Fagus sylvatica	Tri Color, Roseo-marginata	3-5 feet	5'			20-30'	15-20'	oval	yellow green,	spiny capsule	light bronze	very showy purple, rose with cream leaves
Birch, Avalanche	Betula x "Avalzam'				6'	6'							
Black Maple	Acer nigrum		8' + feet		6'	6'	60-75'	40-50'	oval to rounded	insignificant	Green samaras	yellow-orange-red	similar to sugar maple but more heat and drought tolerant
Catalpa *	Catalpa speciosa	Heartland	5-8' feet	5'	10'	10'	45-50	20-25	narrow upright	white, large bell shaped	long slender seed pods	greenish-yellow	tolerant of urban conditions
Chinese Catalpa	Catalpa ovata		3-5 feet				20-30'	20-30'	spreading	yellow-white flowers	long slender green pods	yellow	tolerant of heat and a wide range of soil conditions
Chokecherry	Prunus x virginiana	Sucker Punch	3-5 feet	3'	4'	4'	20-30'	18-20'	rounded	bright white,	dark purple	deep purple	sucker-free, leaves emerge green turning dark purple
Dawn Redwood	Metasequoia glyptostoboides				6'	6'							
Dogwood, Corneliancherry	Cornus mas	Various	3-5 feet				15-20'	15-20'	low branched/	yellow, before	red, edible	reddish purple	scaly exfoliating bark when mature
Eastern Redbud *	Cercis canadensis	Various	3-5 feet	3'	4'	4'	15-25'	20-30'	irregular	pink/purple before leaves	small, brown	yellow	tolerant of partial shade, vibrant in the spring
Elm, Accolade *	Ulmus japonica x	Accolade	8' + feet				50-60'	30-40'	arching vase	insignificant	flat round samara	yellow	excellent DED resistance
Elm, American	Ulmus americana				10'	10'							
Elm, Commendation *	Ulmus (japonica x wilsoniana Morton) x (pumila x carpinifolia)	Commendation	8' + feet	4'			50-70'	40-50'	pyramidal	insignificant	flat round samara	yellow	fast growing but not wild
Elm, Emerald Flair, Lacebark	Ulmus parvifolia	Emerald Flair	5-8' feet		10'	10'	40-45'	30-35'	spreading vase	insignificant	flat round samara	red-orange red	has better red fall color than most cultivars
Elm, Emerald Sunshine	Ulmus propinqua	Emerald Sunshine	5-8' feet				30-35'	20-25	vase	inconspicuous	small, flat, papery	yellow	tolerant of all urban conditions
Elm, Frontier *	Ulmus. carpinifolia and U. parvifolia.	Frontier	5-8' feet				30-40'	20-30'	upright, vase	inconspicuous	small, flat, papery	burgandy-purplish	tolerant of all urban conditions
Elm, Green stone *	Ulmus davidiana	Greenstone	8' + feet				50-60'	40-50'	upright vase	insignificant	flat round samara	yellow	strong branch attachments at open angles

Elm, New Horizon *	Ulmus japonica × pumila	New Horizon	8' + feet				50-55'	30-40'	upright oval	insignificant	flat round samara	yellow	proven rugged street tree
Elm, Triumph *	Ulmus wilsoniana, U. japonica, and U. pumila	Triumph	8' + feet				50-60'	40-45'	upright oval to vase	insignificant	flat round samara	yellow	very dark green glossy leaves
European Alder	Alnus glutinosa		5-8' feet		6'	6'	40-50'	20-40'	pyramidal	drooping male catkins	small woody cones	none	tolerates a wide range of soils
European Beech	Fagus sylvatica	various	8' + feet		6'	6'	50-60'	35-50'	rounded, pyramidal	Inconspicuous	nuts in a prickly husk	bronze-yellow	thin, smooth gray bark
Flowering Cherry, Akebono*	Prunus x yedoensis	Akebono	3-5 feet				20-25'	20-25'	spreading	double, light pink	black purple	yellow	blossoms are showy in the spring
Flowering Cherry, Kwanzan	Prunus serrulata	Kwanzan	3-5 feet	4'	4'	4'	20-25'	15-20'	vase shaped	double deep pink	sterile flowers do not produce fruit	yellow	blossoms are showy in the spring
Flowering Crabapple *	Malus spp. Various	Spring Snow, Snow Drift, Sargent, Zumi	3-5 feet	3'	4'	4'	15-25'	15-25'	rounded to oval	varies with cultivar	fruit varies with cultivar	yellow	showy in spring
Flowering Pear	Pyrus calleryana	Aristocrat, Autumn Blaze, Capital, Chanticleer, Trinity	5-8' feet				30-40'	12-28'	upright to pyramidal	white in spring	small fruit	redish	good fall color
Flowering Pear, Jack	Pyrus calleryana	Jack Pear	3-5 feet				15-20'	10-12'	compact oval	white	yellow green	yellow	ideal under utility lines
Flowering Pear, Korean Sun	Pyrus auriei	Korean Sun, Westwood	3-5 feet				10-15'	15-Oct	compact rounded	white in spring	yellow green	red-purple	better branch attachment than most flowering pears
Flowering Pear, Prairie Gem	Pyrus ussuriensis	Prairie Gem, MorDak	3-5 feet				20-25'	20-25'	oval to rounded	white	yellow green	yellow	hardy flowering pear cultivar
Flowering Plum, Krauter Vesuvius	Prunus cerasifera	Krauter Vesuvius	3-5 feet		4'	4'	15-20'	10-15'	upright	light pink showy	sparse plums	purple	dark purple leaves year round
Fringetree *	Chionanthus virginicus		3-5 feet				20-25'	20-25'	spreading oval	fragrant		yellow	stunning when in full bloom
Fringetree, Chinese *	Chionanthus retusus		3-5 feet				20-25'	20-25'	broadly oval	spring, fragrant		yellow	light brown exfoliating young bark
Ginkgo (male only)*	Ginkgo biloba	Autumn Gold, Princeton Sentry, Magyar, Colonade	5-8' feet	4'	6'	6'	40-45'	15-30'	pyramidal	insignificant	fruitless	yellow-golden	tolerant of a wide range of soil conditions, adapts well to urban environments, females have unpleasant odor
Goldenrain *	Koelreuteria paniculata		5-8' feet	4'	4'	4'	30-40'	30-40'	round	very showy bright yellow flowers in	black seed in papery capsule	yellow-orange	tough adaptable tree
Hackberry *	Celtis occidentalis	Chicagoland	8' + feet	5'	6'	6'	40-60'	40-60'	rounded spreading	insignificant	purple drupe	pale yellow	tolerates both wet and dry conditions
Hardy Rubber Tree	Eucommia ulmoides	Emerald Point	5-8' feet				35-40'	15-20'	narrow oval	insignificant	winged seed	none	tolerates a wide range of soil conditions, glossy green leaves

Hardy Rubber Tree	Eucommia ulmoides	Hardy Rubber Tree,	8' + feet				40-60'	30-50'	rounded	insignificant	winged seed	none	tolerates a wide range of soil conditions, glossy green leaves
Hawthorn *	Crataegus laevigata	Pauls Scarlet, Crimson Cloud	3-5 feet	3'	4'	4'	20-25"	15-20'	broad round	double rose red	red edible	no fall color	vibrant in the spring
Hawthorn, Lavelle *	Crataegus x lavelleli	Lavelle	3-5 feet				20-30'	15-20'	dense oval	white in spring	red edible	coppery red	lustrous green leaves, persistent fruit
Hawthorn, Thornless Cockspur *	Crataegus crus-galli	Thornless Cockspur	3-5 feet	3'			20-30'	20-35'	rounded spreading	white in spring	red edible	orange-scarlet	persistent fruit in to winter, thornless
Hawthorn, Winter King *	Crataegus viridis	Winter King	3-5 feet				20-30'	20-30'	wide vase	white in spring,	bright red edible	purplish red	tolerant of urban pollution
Honeylocust *	Gleditsia triacanthos inermis	Street Keeper, Skyline, Shademaster, Northern Acclaim, Sunburst, Perfection	5-8' feet	5'	6'	6'	35-50'	20-40'	pyramidal to round dependent on cultivar	insignificant yet smell very sweet	reported as fruitless	golden yellow	small fine leaves give filtered shade
Honeylocust *	Gleditsia triacanthos inermis	Street Keeper, Skyline, Shademaster, Northern Acclaim	8' + feet				40-45'	20-35'	pyramidal to round	insignificant yet smell very sweet	reported as fruitless	golden yellow	small fine leaves give filtered shade
Honeylocust *	Gleditsia triacanthos inermis	Street Keeper, Skyline, Shademaster, Northern Acclaim, Sunburst, Perfection	8' + feet				35-50'	20-40'	pyramidal to round dependent on cultivar	insignificant yet smell very sweet	reported as fruitless	golden yellow	small fine leaves give filtered shade
Hophornbeam	Ostrya virginiana	Autumn Treasure, Sun Beam	5-8' feet				25-40'	20-30'	oval to rounded	brown-green in	hop-like sac	yellow	tolerant of urban conditions once established
Hornbeam	Carpinus betulus	Emerald Avenue, Frans Fontaine	8' + feet		6'	6'	40-60'	15-40'	narrow fastigate to broadly pyramidal	insignificant	nutlets in papery bracts	yellow	very symmetrically shaped
Hornbeam, Fastigate	Carpinus betulus 'Fastigiata'	Fastigiata	5-8' feet		6'	6'	30-40'	20-30'	oval vase	catkins	clusters of small nutlets in bracts	yellow-orange	smooth gray bark with fluting
Horsechestnut	Aesculus hippocastanum		8' + feet		10'	10'	50-75'	40-65'	upright oval	deep pink or white	nutlets in papery bracts	yellow	large showy flowers
Horsechestnut, Red	Aesculus x carnea	Briotii, Fort McNair	5-8' feet				30-40'	25-35'	oval to rounded	deep pink	nut	yellow	large showy flowers
Japanese Pagodatree	Sophora japonica			5'	6'	6'							
Katsura	Cercidiphyllum japonicum		5-8' feet				40-60'	20-35'	pyramidal to round	insignificant	small green pods, female only	yellow-orange	foliage may scorch in hot, dry conditions
Kentucky Coffee *	Gymnocladus dioicus	Espresso, Prairie Titan, Stately Manor	8' + feet		6'	6'	60-80'	40-45'	irregular open	Greenish white, female	seedless	yellow	leaves drop early in the fall
Lilac, Japanese Tree Lilac *	Syringa reticulata	Ivory Silk	3-5 feet	3'			20-25'	15-20'	upright oval/rounded	creamy white fragrant	dry capsules	yellow	tolerant of urban conditions

Lilac, Peking Lilac *	Syringa pekinensis	China Snow, Summer Charm	3-5 feet		4'	4'	20-25'	15-20'	rounded	creamy white fragrant	dry capsules	yellow	attractive exfoliating, amber colored bark
Linden, American	Tilia americana			5'	10'	10'							
Linden, Crimean	Tilia x euchlora		5-8' feet				40-50'	20-30'	rounded pyramidal	fragrant creamy yellow	gray nutlets with bracts	yellow	reported to have more resistance to aphids
Linden, Silver *	Tilia tomentosa	Sterling Silver, Green Mountain, Satin Shadow	8' + feet				50-70'	25-40'	pyramidal	fragrant creamy yellow	gray nutlets with bracts	yellow	best heat and drought tolerant of all lindens
Linden, Summer Sprite, Littleleaf	Tilia cordata	Summer Sprite Linden	3-5 feet		6'	6'	18-20'	12-15'	dense pyramidal	tiny yellow fragrant in spring	gray nutlets with bracts	yellow	perfect for confined urban spaces
London Plane *	Platanus x acerifolia	Bloodgood, Exclamation, Ovation	8' + feet	5'	10'	10'	60-70'	30-60'	spreading rounded	insignificant	round fuzzy seed ball in clusters of 2-3	brown	exfoliating cream colored bark
Maackia	Maackia amurensis		3-5 feet				20-30'	15-20'	rounded vase	white fragrant in	flat see pods	yellow	tolerant of urban conditions
Maple, Amur	Acer ginnala		3-5 feet	3'	4'	4'	15-20'	15-20'	round spreading	white, clusters	samaras	red	showy red samaras in fall
Maple, Bigtooth*	Acer grandidentatum	Rocky Mt. Glow, Mesa Glow	3-5 feet	4'	4'	4'	20-25'	15-25'	oval to round	spring, insignificant	green samaras	yellow to orange	native to Utah
Maple, Hedge	Acer campestre	Metro Gold, Queen Elizabeth	5-8' feet	3'	4'	4'	25-35'	25-35'	oval/round dense	insignificant	green samaras	yellow	
Maple, Norway	Acer platanoides				6'	6'							
Maple, Paperbark*	Acer griseum		3-5 feet	3'	4'	4'	20-25'	15-20'	upright oval	small green in spring,	brown samaras		attractive exfoliating cinnamon colored bark
Maple, Rocky Mountain	Acer glabrum		3-5 feet				20-25'	10-15'	oval	spring, insignificant	green samaras		native to Utah, heat tolerance may be a concern, prune to develop strong branching structure
Maple, Shantung	Acer truncatum	Pacific Sunset, Norweigan Sunset,	3-5 feet		4'	4'	20-30'	20-30'	rounded to oval	pale yellow insignificant	samaras	yellow, orange, red, purple	heat tolerant
Maple, Shantung	Acer truncatum	Ruby Sunset	3-5 feet				20-25'	18-20'	broad oval to	pale yellow	samaras	deep red	heat tolerant, glossy green leaves
Maple, State Street	Acer miyabei	State Street, Rugged Ridge	5-8' feet				30-45'	30-35'	oval to rounded	insignificant	green samaras	yellow-orange	hardy, tough, pest free maple
Maple, State Street	Acer miyabei	State Street, Rugged Ridge	8' + feet				30-45'	30-35'	oval to rounded	spring, insignificant	green samaras	yellow-orange	hardy, tough, pest free maple
Maple, Sugar	Acer saccharum	John Pair Caddo, Flash Fire Caddo, Autumn Splendor Caddo	5-8' feet				30-45'	30-45'	rounded to oval	insignificant	green samaras	orange-red	tolerant of harsh urban conditions and alkaline soil
Maple, Sycamore	Acer pseudoplatanus		5-8' feet	5'			40-55'	35-55'	round	insignificant	green samaras	yellow	Gray flaking bark
Maple, Sycamore	Acer pseudoplatanus		8' + feet		6'	6'	40-55'	35-55'	round	spring, insignificant	green samaras	yellow	Gray flaking bark

Maple, Tatarian*	Acer tataricum	Hot Wings, Pattern Perfect, Rugged Charm	3-5 feet	3'	4'	4'	20-25'	15-20'	oval to round	white clusters in spring	red samaras	yellow-red	showy seeds
Maple, Trident	Acer buergerianum	Streetwise	3-5 feet		4'	4'	20-30'	15-25'	oval/round	spring, insignificant	green samaras	orange-red	slow growing
Mayday Tree	Prunus padus	Merlot	5-8' feet				30-40'	18-30'	pyramidal to	showy white	pea sized black	yellow	showy in spring
Mountain Ash	Sorbus americana												
Mulberry, Fruitless	Morus alba	Fruitless Mulberry	5-8' feet		6'	6'	30-50'	30-50'	wide spreading	small yellowish green	fruitless	none	tough tolerant tree
Netleaf Hackberry *	Celtis reticulata		3-5 feet	3'			20-25'	20-25'	rounded spreading	green in spring, insignificant	orange-red	yellow	very tolerant to adverse growing conditions
Oak, Shingle	Quercus imbricaria		8' + feet				50-60'	50-60'	conical broadening with age	insignificant	acorn	yellow-brown to red brown	adapts to a wide range of soils
Oak, Bur *	Quercus macrocarpa	Bullet Proof, Cobblestone	8' + feet	5'	10'	10'	60-80'	60-80'	broad rounded	insignificant	oval acorns with fringed cap	yellow brown	tolerant of all soil conditions
Oak, Chinkapin	Quercus muehlenbergii	Red Autumn	8' + feet				40-60'	50-60'	oval to rounded	insignificant	acorn	yellow brown or red	tolerant of alkaline soils
Oak, English *	Quercus robur		8' + feet				50-70'	50-70'	broad	insignificant	acorn	none	tolerant of alkaline soils
Oak, English *	Quercus robur				10'	10'							
Oak, Gambel	Quercus gambelii		3-5 feet				20-25'	20-30'	round, clump	insignificant	acorns	brow-brownish red	native to Utah, clump form
Oak, Northern Pin Oak	Quercus ellipsoidalis		8' + feet				55-60'	30-40'	broadly pyramidal	insignificant	acorn	red	tolerant of alkaline and dry soils
Oak, northern red	Quercus rubra			5'	10'	10'							
Oak, Sawtooth	Quercus acutissima		8' + feet				40-60'	40-60'	broad spreading	insignificant	acorn	dull yellow-brown	adapts to a wide range of soils
Oak, Shumard	Quercus shumardii		8' + feet				40-60'	30-40'	oval	insignificant	acorn	brownish red	does well in wet and dry soil
Oak, Swamp White	Quercus bicolor	American Dream	8' + feet		10'	10'	50-60'	50-60'	broad	insignificant	acorn	orange gold	tolerant of urban conditions
Osage Orange, White Shield	Maclura pomifera	White Shield, Wichita	5-8' feet				30-25'	30-35'	upright spreading	none	none	yellow	tough tolerant, thornless, fruitless
Parrotia	Parrotia persica	Vanessa	3-5 feet	4'			20-30'	15-20'	upright vase	insignificant	insignificant	yellow-orange-red	slow growing
Red Buckeye	Acer pavia				4'	4'							
Serviceberry *	Amelanchier laevis	Spring Flurry, Snow Cloud	3-5 feet	3'			20-28'	15-20'	upright oval	white clusters in spring	purplish-blue edible	orange-red	great for naturalizing or as a specimen
Serviceberry *	Amelanchier x grandiflora	Robin Hill	3-5 feet	3'			20-25'	15-18'	upright oval	light pink in spring	small purple-red edible	orange-red	great for naturalizing or as a specimen
Silk Tree	Albizia julibrissin			4'									
Sweetgum	Liquidambar styraciflua												
Tulip Tree	Liriodendron tulipifera		8' + feet	5'	10'	10'	60-70'	30-50'	broad conical	yellow with orange	dry brown oblong	golden yellow	flowers somewhat hidden by leaves
Turkish Filbert	Corylus colurna		5-8' feet	4'			40-50'	15-35'	pyramidal	insignificant	edible nut		tolerant tree once established

Yellowwood *	Cladrastis kentukea	American, Perkins Pink	5-8' feet				30-50'	30-50'	round	large hanging fragrant white	flat papery pod	yellow	very showy flowers in late spring, smooth gray bark
Zelkova *	Zelkova serrata	Village Green, Green Vase	5-8' feet		10'	10'	40-55'	30-50'	vase	insignificant	small wingless drupe	rusty red	mature smooth gray bark exfoliates to reveal orange inner bark
Zelkova *	Zelkova serrata	Village Green, Green Vase	8' + feet		10'	10'	40-55'	30-50'	vase	insignificant	small wingless drupe	rusty red	mature smooth gray bark exfoliates to reveal orange inner bark
Zelkova, City Sprite *	Zelkova serrata	City Sprite	3-5 feet	5'			20-24'	15-18'	compact oval to	insignificant	insignificant	yellow	perfect for confined urban spaces
Zelkova, Wireless *	Zelkova serrata	Wireless	3-5 feet				20-24'	30-35'	flat topped broad spreading	insignificant	insignificant	reddish orange	ideal under utility lines

Cottonwood Heights Prohibited Park Strip Tree List

All trees on this list are prohibited in park strips. Planting of these trees within a park strip may result in an order from the City for their removal.

Common Name	Botanical Name	S. Jordan	Provo	Sandy	Lehi City	Reasons	Sources
American Elm	Ulmus Americana			x		Susceptible to Dutch Elm Disease. Rarely should be planted, though limited use in specific situations may be justified.	https://treebrowser.org/?sortby=commonName&filterByType=tree
ash (all ash species are susceptible to emerald ash borer)	Fraxinus spp.	x				Susceptible to Emerald ash borer infestations	https://treebrowser.org/?sortby=commonName&filterByType=tree
Birch	Betula			x		Prone to the Bronze Birch Borer, the large majority of trees die in our climate. Birches prefer acidic soils that are common in the eastern United States and the Pacific Northwest. Utah soils are alkaline, and this predisposes the trees to iron chlorosis and makes them grow more slowly.	https://utahpests.usu.edu/ipm/ornamental-post
black/ purple robe locust	Robinia ambigua		x	x	x	Susceptible to Aphids, Borer and Leaf Miner, Fusarium, Armillaria, Root Rot, Canker, Leaf Spot and Powdery Mildew. Brittle	https://treebrowser.org/?sortby=commonName&filterByType=tree
boxelder maple	Acer negundo		x		x	Soft wood that is subject to decay. Harbor box elder bugs which are a nuisance. Very common, but undesirable as an ornamental in all except the worst conditions. Often nearly completely defoliated in early summer by the boxelder leaf roller, but usually puts on new leaves with no problem. Boxelder bugs can be a nuisance where female trees are found (they feed on	https://treebrowser.org/?sortby=commonName&filterByType=tree
Evergreen	Conifers	x	x		x	Block clear vision between pedestrians and vehicle traffic. Often spread too wide for parking strips.	
flowering pear	Pyrus calleryana	x				suffer from severe branch splitting, which occurs because their wood is brittle and splits apart easily. It has several problems, however, including an eventual size that is bigger than most people expect, occasional winter kill of buds and possibly cambium in colder locations, poor branch attachment due to included bark, and a flower odor that is objectionable to some.	
fruit trees		x	x		x	Fruit drop on sidewalks can be hazardous to pedestrians and a maintenance concern.	
London Planetree	platanus			x		Not well-suited to small park strips.	
poplar (all poplar species, cottonwood, aspen, and poplars)	Populus spp.	x	x	x	x	Trees in this family have soft wood and are subject to decay. Shallow roots.	
Russian olive	Eleagnus angustifolia		x	x	x	Thorns, fruit, and growth habit are unsuitable for street tree use. This tree is very aggressive and weedy and has been declared a noxious weed in Carbon, Duchesne, and Uintah Counties in Utah. It has caused some serious environmental degradation and should not be planted.	https://treebrowser.org/?sortby=commonName&filterByType=tree
Siberian elm	Ulmus pumila	x	x	x	x	Brittle wood and weak branching. Invasive spread from seeding. Incorrectly referred to as Chinese Elm.	https://treebrowser.org/?sortby=commonName&filterByType=tree
cultivars such as 'autumn	Acer saccharinum	x	x	x	x	Becomes chlorotic in our local soils. Is brittle and breaks easily in storms. Not a good choice for Utah.	https://treebrowser.org/?sortby=commonName&filterByType=tree
sunburst honeylocust	Gledistia triacanthos 'Sunburst		x		x	Suceptible to many pests.	
thorned honeylocust	Gledistsia triacanthos		x		x	Hazardous thorny branches. Messy seed pods. Select thornless varieties for planting along city streets.	https://treebrowser.org/?sortby=commonName&filterByType=tree
thorned trees		x				Can injure people.	
tree-of-heaven	Ailanthus altissima	x	x		x	Very brittle wood and weak branching. Seeding makes this tree invasive. A large, tough tree that sprouts readily, grows very fast, is weak-wooded, and is fairly short-lived. Common mainly in cities, where large trees will grow right out of pavement cracks and window wells. Quite attractive, but with a lot of bad habits that make it undesirable except for the worst sites.	https://treebrowser.org/?sortby=commonName&filterByType=tree
willows (all)	Salix spp.	x	x	x	x	Soft wood subject to decay. Shallow roots. Aphids. Not appropriate except native habitat along water sources.	